

2025年10月16日

Appendix I of RNTPC  
Paper No. A/YL-KTN/1180A

此文件在 收到 - 城市規劃委員會

申請的

2025 -10- 16

This document is received on  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land  
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,  
or Renewal of Permission for such Temporary Use or Development\***

**適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行  
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\***

*\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

*\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

# "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a '✓' at the appropriate box 請在適當的方格內上加上「✓」號

2502282 3/10 By Havel

Form No. S16-III 表格第 S16-III 號

For Official Use Only 請勿填寫此欄	Application No. 申請編號	A/YL-KTN/1180
	Date Received 收到日期	2025-10-16

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處(熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓)索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

( Mr. 先生 /  Mrs. 夫人 /  Miss 小姐 /  Ms. 女士 /  Company 公司 /  Organisation 機構)

Excel Link Development Limited 駿滙發展有限公司

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

( Mr. 先生 /  Mrs. 夫人 /  Miss 小姐 /  Ms. 女士 /  Company 公司 /  Organisation 機構)

R-riches Planning Limited 盈卓規劃有限公司

### 3. Application Site 申請地點

(a) Full address / location / demarcation district and lot number (if applicable) 詳細地址/地點/丈量約份及地段號碼 (如適用)	Lots 1505 RP, 1506 S.A, 1506 S.B, 1506 S.C, 1506 S.D, 1506 S.E, 1506 RP, 1508 RP, 1509, 1510, 1511, 1517, 1518, 1519 RP, 1520 RP, 1522 RP, 1523, 1525, 1555 S.B RP (Part) and 1556 RP in D.D. 107 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories
(b) Site area and/or gross floor area involved 涉及的地盤面積及/或總樓面面積	<input checked="" type="checkbox"/> Site area 地盤面積 ..... 25,206 ..... sq.m 平方米 <input type="checkbox"/> About 約 <input checked="" type="checkbox"/> Gross floor area 總樓面面積 ..... 13,453 ..... sq.m 平方米 <input type="checkbox"/> About 約
(c) Area of Government land included (if any) 所包括的政府土地面積 (倘有)	..... 171 ..... sq.m 平方米 <input type="checkbox"/> About 約

(d) Name and number of the related statutory plan(s) 有關法定圖則的名稱及編號	Approved Kam Tin North Outline Zoning Plan No.: S/YL-KTN/11
(e) Land use zone(s) involved 涉及的土地用途地帶	"Agriculture" Zone
(f) Current use(s) 現時用途	Vacant  (If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area) (如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積)

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

- The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

##### 就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 –

- has obtained consent(s) of ..... "current land owner(s)"<sup>#</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#</sup>的同意。

Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained 根據土地註冊處記錄已獲得同意的地段號碼/處所地址	Date of consent obtained (DD/MM/YYYY) 取得同意的日期 (日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has notified ..... "current land owner(s)"#  
已通知 ..... 名「現行土地擁有人」#。

Details of the "current land owner(s)"# notified 已獲通知「現行土地擁有人」#的詳細資料		
No. of 'Current Land Owner(s)' 「現行土地擁有人」數目	Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given 根據土地註冊處記錄已發出通知的地段號碼/處所地址	Date of notification given (DD/MM/YYYY) 通知日期(日/月/年)

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- sent request for consent to the "current land owner(s)" on \_\_\_\_\_ (DD/MM/YYYY)#&  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」#郵遞要求同意書&

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)&  
於 30/09/2025 (日/月/年)在指定報章就申請刊登一次通知&

- posted notice in a prominent position on or near application site/premises on \_\_\_\_\_ (DD/MM/YYYY)&  
於 \_\_\_\_\_ (日/月/年)在申請地點/申請處所或附近的顯明位置貼出關於該申請的通知&

- sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 26/09/2025 (DD/MM/YYYY)&  
於 \_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會&

Others 其他

- others (please specify)  
其他 (請指明)

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註: 可在多於一個方格內加上「✓」號。  
申請人須就申請涉及的每一地段(倘適用)及處所(倘有)分別提供資料

<b>6. Type(s) of Application 申請類別</b>																																									
<b>(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas</b> 位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展 (For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B)) (如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)																																									
(a) Proposed use(s)/development 擬議用途/發展	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities and Associated Filling of Land and Pond for a Period of 3 Years  (Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)																																								
(b) Effective period of permission applied for 申請的許可有效期	<input checked="" type="checkbox"/> year(s) 年 ..... 3 <input type="checkbox"/> month(s) 個月 .....																																								
<b>(c) Development Schedule 發展細節表</b>																																									
Proposed uncovered land area 擬議露天土地面積	11,753 .....sq.m <input checked="" type="checkbox"/> About 約																																								
Proposed covered land area 擬議有上蓋土地面積	13,453 .....sq.m <input checked="" type="checkbox"/> About 約																																								
Proposed number of buildings/structures 擬議建築物/構築物數目	6 .....																																								
Proposed domestic floor area 擬議住用樓面面積	N/A .....sq.m <input type="checkbox"/> About 約																																								
Proposed non-domestic floor area 擬議非住用樓面面積	13,453 .....sq.m <input checked="" type="checkbox"/> About 約																																								
Proposed gross floor area 擬議總樓面面積	13,453 .....sq.m <input checked="" type="checkbox"/> About 約																																								
<b>Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層</b> s insufficient) (如以下空間不足，請另頁說明)																																									
<table border="1"> <thead> <tr> <th>STRUCTURE</th> <th>USE</th> <th>COVERED AREA</th> <th>GROSS FLOOR AREA</th> <th>BUILDING HEIGHT</th> </tr> </thead> <tbody> <tr> <td>B1</td> <td>WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM</td> <td>1,784 m<sup>2</sup> (ABOUT)</td> <td>1,784 m<sup>2</sup> (ABOUT)</td> <td>13 m (ABOUT)(1-STOREY)</td> </tr> <tr> <td>B2</td> <td>WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM</td> <td>616 m<sup>2</sup> (ABOUT)</td> <td>616 m<sup>2</sup> (ABOUT)</td> <td>13 m (ABOUT)(1-STOREY)</td> </tr> <tr> <td>B3</td> <td>WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM</td> <td>7,154 m<sup>2</sup> (ABOUT)</td> <td>7,154 m<sup>2</sup> (ABOUT)</td> <td>13 m (ABOUT)(1-STOREY)</td> </tr> <tr> <td>B4</td> <td>WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM</td> <td>3,667 m<sup>2</sup> (ABOUT)</td> <td>3,667 m<sup>2</sup> (ABOUT)</td> <td>13 m (ABOUT)(1-STOREY)</td> </tr> <tr> <td>B5</td> <td>WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM</td> <td>64 m<sup>2</sup> (ABOUT)</td> <td>64 m<sup>2</sup> (ABOUT)</td> <td>3.5 m (ABOUT)(1-STOREY)</td> </tr> <tr> <td>B6</td> <td>FS PUMP ROOM FS WATER TANK</td> <td>168 m<sup>2</sup> (ABOUT)</td> <td>168 m<sup>2</sup> (ABOUT)</td> <td>3.5 m (ABOUT)(1-STOREY)</td> </tr> <tr> <td colspan="2"><b>TOTAL</b></td> <td><b>13,453 m<sup>2</sup> (ABOUT)</b></td> <td><b>13,453 m<sup>2</sup> (ABOUT)</b></td> <td></td> </tr> </tbody> </table>	STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT	B1	WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM	1,784 m <sup>2</sup> (ABOUT)	1,784 m <sup>2</sup> (ABOUT)	13 m (ABOUT)(1-STOREY)	B2	WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM	616 m <sup>2</sup> (ABOUT)	616 m <sup>2</sup> (ABOUT)	13 m (ABOUT)(1-STOREY)	B3	WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM	7,154 m <sup>2</sup> (ABOUT)	7,154 m <sup>2</sup> (ABOUT)	13 m (ABOUT)(1-STOREY)	B4	WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM	3,667 m <sup>2</sup> (ABOUT)	3,667 m <sup>2</sup> (ABOUT)	13 m (ABOUT)(1-STOREY)	B5	WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM	64 m <sup>2</sup> (ABOUT)	64 m <sup>2</sup> (ABOUT)	3.5 m (ABOUT)(1-STOREY)	B6	FS PUMP ROOM FS WATER TANK	168 m <sup>2</sup> (ABOUT)	168 m <sup>2</sup> (ABOUT)	3.5 m (ABOUT)(1-STOREY)	<b>TOTAL</b>		<b>13,453 m<sup>2</sup> (ABOUT)</b>	<b>13,453 m<sup>2</sup> (ABOUT)</b>		
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*D.G.G. - DANGEROUS GOODS GODOWN																																									
<b>Proposed number of car parking spaces by types 不同種類停車位的擬議數目</b>																																									
Private Car Parking Spaces 私家車車位	11 .....																																								
Motorcycle Parking Spaces 電單車車位	N/A .....																																								
Light Goods Vehicle Parking Spaces 輕型貨車泊車位	N/A .....																																								
Medium Goods Vehicle Parking Spaces 中型貨車泊車位	N/A .....																																								
Heavy Goods Vehicle Parking Spaces 重型貨車泊車位	N/A .....																																								
Others (Please Specify) 其他 (請列明)	.....																																								
<b>Proposed number of loading/unloading spaces 上落客貨車位的擬議數目</b>																																									
Taxi Spaces 的士車位	N/A .....																																								
Coach Spaces 旅遊巴車位	N/A .....																																								
Light Goods Vehicle Spaces 輕型貨車車位	7 .....																																								
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Heavy Goods Vehicle Spaces 重型貨車車位	N/A .....																																								
Others (Please Specify) 其他 (請列明)	.....																																								

Proposed operating hours 擬議營運時間 Monday to Saturday from 09:00 to 19:00. No operation on Sunday and public holidays ..... .....																															
(d) Any vehicular access to the site/subject building? 是否有車路通往地盤/有關建築物?	Yes 是 <input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate) 有一條現有車路。(請註明車路名稱(如適用)) Accessible from San Tam Road via Shui Mei Road and a local access. No 否 <input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width) 有一條擬議車路。(請在圖則顯示,並註明車路的闊度) <input type="checkbox"/>																														
(e) Impacts of Development Proposal 擬議發展計劃的影響 (If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話,請另頁註明可盡量減少可能出現不良影響的措施,否則請提供理據/理由。)																															
(i) Does the development proposal involve alteration of existing building? 擬議發展計劃是否包括現有建築物的改動?	Yes 是 <input type="checkbox"/> Please provide details 請提供詳情 ..... ..... No 否 <input checked="" type="checkbox"/>																														
(ii) Does the development proposal involve the operation on the right? 擬議發展是否涉及右列的工程?	Yes 是 <input checked="" type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land) (請用地盤平面圖顯示有關土地/池塘界線,以及河道改道、填塘、填土及/或挖土的細節及/或範圍) <input type="checkbox"/> Diversion of stream 河道改道 <input checked="" type="checkbox"/> Filling of pond 填塘 Area of filling 填塘面積 ..... 1,623 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填塘深度 ..... 0.5 ..... m 米 <input checked="" type="checkbox"/> About 約 <input checked="" type="checkbox"/> Filling of land 填土 Area of filling 填土面積 ..... 25,206 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約 Depth of filling 填土厚度 not more than 0.2.. m 米 <input type="checkbox"/> About 約 <input type="checkbox"/> Excavation of land 挖土 Area of excavation 挖土面積..... sq.m 平方米 <input type="checkbox"/> About 約 Depth of excavation 挖土深度 ..... m 米 <input type="checkbox"/> About 約 No 否 <input type="checkbox"/>																														
(iii) Would the development proposal cause any adverse impacts? 擬議發展計劃會否造成不良影響?	<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:60%;">On environment 對環境</td> <td style="width:10%;">Yes 會 <input type="checkbox"/></td> <td style="width:10%;">No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On traffic 對交通</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On water supply 對供水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On drainage 對排水</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>On slopes 對斜坡</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Affected by slopes 受斜坡影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Landscape Impact 構成景觀影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Tree Felling 砍伐樹木</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Visual Impact 構成視覺影響</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> <tr> <td>Others (Please Specify) 其他 (請列明)</td> <td>Yes 會 <input type="checkbox"/></td> <td>No 不會 <input checked="" type="checkbox"/></td> </tr> </table>	On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On water supply 對供水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On drainage 對排水	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	On slopes 對斜坡	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Affected by slopes 受斜坡影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>	Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>
On environment 對環境	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
On traffic 對交通	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
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Landscape Impact 構成景觀影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Tree Felling 砍伐樹木	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Visual Impact 構成視覺影響	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													
Others (Please Specify) 其他 (請列明)	Yes 會 <input type="checkbox"/>	No 不會 <input checked="" type="checkbox"/>																													

	<p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
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<b>(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas</b>	
<b>位於鄉郊地區或受規管地區臨時用途/發展的許可續期</b>	
(a) Application number to which the permission relates 與許可有關的申請編號	A/ _____ / _____
(b) Date of approval 獲批給許可的日期	..... (DD 日/MM 月/YYYY 年)
(c) Date of expiry 許可屆滿日期	..... (DD 日/MM 月/YYYY 年)
(d) Approved use/development 已批給許可的用途/發展	
(e) Approval conditions 附帶條件	<input type="checkbox"/> The permission does not have any approval condition 許可並沒有任何附帶條件  <input type="checkbox"/> Applicant has complied with all the approval conditions 申請人已履行全部附帶條件  <input type="checkbox"/> Applicant has not yet complied with the following approval condition(s): 申請人仍未履行下列附帶條件： _____ _____ Reason(s) for non-compliance: 仍未履行的原因： _____ _____ _____ (Please use separate sheets if the space above is insufficient) (如以上空間不足，請另頁說明)
(f) Renewal period sought 要求的續期期間	<input type="checkbox"/> year(s) 年 ..... <input type="checkbox"/> month(s) 個月 .....



**8. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.

本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署



Applicant 申請人 /  Authorised Agent 獲授權代理人

.....  
Michael WONG

Name in Block Letters  
姓名 (請以正楷填寫)

Position (if applicable)  
職位 (如適用)

Professional Qualification(s)  Member 會員 /  Fellow of 資深會員

專業資格

HKIP 香港規劃師學會 /

HKIA 香港建築師學會 /

HKIS 香港測量師學會 /

HKIE 香港工程師學會 /

HKILA 香港園境師學會 /

HKIUD 香港城市設計學會

RPP 註冊專業規劃師

Others 其他 .....

on behalf of  
代表

R-riches Planning Limited 盈卓規劃有限公司



Company 公司 /  Organisation Name and Chop (if applicable) 機構名稱及蓋章 (如適用)

Date 日期

.....30/09/2025..... (DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

(a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and

處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及

(b) facilitating communication between the applicant and the Secretary of the Board/Government departments.

方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

<b>Gist of Application 申請摘要</b>	
(Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.) (請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。)	
Application No. 申請編號	(For Official Use Only) (請勿填寫此欄)
Location/address 位置/地址	Lots 1505 RP, 1506 S.A, 1506 S.B, 1506 S.C, 1506 S.D, 1506 S.E, 1506 RP, 1508 RP, 1509, 1510, 1511, 1517, 1518, 1519 RP, 1520 RP, 1522 RP, 1523, 1525, 1555 S.B RP (Part) and 1556 RP in D.D. 107 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories
Site area 地盤面積	<div style="display: flex; justify-content: space-between;"> <div style="text-align: center;">  </div> <div> <p>25,206 sq. m 平方米 <input checked="" type="checkbox"/> About 約</p> <p>(includes Government land) (包括政府土地) 171 sq. m 平方米 <input checked="" type="checkbox"/> About 約</p> </div> </div>
Plan 圖則	Approved Kam Tin North Outline Zoning Plan No.: S/YL-KTN/11
Zoning 地帶	"Agriculture" Zone
Type of Application 申請類別	<input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期 <input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____  <input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期 <input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____
Applied use/ development 申請用途/發展	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities and Associated Filling of Land and Pond for a Period of 3 Years

(i) Gross floor area and/or plot ratio 總樓面面積及/或地積比率		sq.m 平方米	Plot Ratio 地積比率
	Domestic 住用	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	N/A <input type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
	Non-domestic 非住用	13,453 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於	0.53 <input checked="" type="checkbox"/> About 約 <input type="checkbox"/> Not more than 不多於
(ii) No. of blocks 幢數	Domestic 住用	N/A	
	Non-domestic 非住用	6	
(iii) Building height/No. of storeys 建築物高度/層數	Domestic 住用	N/A	<input type="checkbox"/> (Not more than 不多於) m 米
		N/A	<input type="checkbox"/> (Not more than 不多於) Storeys(s) 層
	Non-domestic 非住用	3.5 - 13 (about)	<input type="checkbox"/> (Not more than 不多於) m 米
		1	<input checked="" type="checkbox"/> (Not more than 不多於) Storeys(s) 層
(iv) Site coverage 上蓋面積	53	%	<input checked="" type="checkbox"/> About 約
(v) No. of parking spaces and loading/unloading spaces 停車位及上落客貨車位數目	Total no. of vehicle parking spaces 停車位總數		11
	Private Car Parking Spaces 私家車車位		11
	Motorcycle Parking Spaces 電單車車位		N/A
	Light Goods Vehicle Parking Spaces 輕型貨車泊車位		N/A
	Medium Goods Vehicle Parking Spaces 中型貨車泊車位		N/A
	Heavy Goods Vehicle Parking Spaces 重型貨車泊車位		N/A
	Others (Please Specify) 其他 (請列明)		N/A
	Total no. of vehicle loading/unloading bays/lay-bys 上落客貨車位/停車處總數		14
	Taxi Spaces 的士車位		N/A
	Coach Spaces 旅遊巴車位		N/A
	Light Goods Vehicle Spaces 輕型貨車車位		7
	Medium Goods Vehicle Spaces 中型貨車位		7
	Heavy Goods Vehicle Spaces 重型貨車車位		N/A
	Others (Please Specify) 其他 (請列明)		N/A

**Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件**

	<u>Chinese</u> 中文	<u>English</u> 英文
<b><u>Plans and Drawings 圖則及繪圖</u></b>		
Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Block plan(s) 樓宇位置圖	<input type="checkbox"/>	<input type="checkbox"/>
Floor plan(s) 樓宇平面圖	<input type="checkbox"/>	<input type="checkbox"/>
Sectional plan(s) 截視圖	<input type="checkbox"/>	<input type="checkbox"/>
Elevation(s) 立視圖	<input type="checkbox"/>	<input type="checkbox"/>
Photomontage(s) showing the proposed development 顯示擬議發展的合成照片	<input type="checkbox"/>	<input type="checkbox"/>
Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Location Plan; Zoning Plan; Plan showing Land Status of the Site; Plan showing Filling of Land at the Site; Swept Path Analysis</u>		
<b><u>Reports 報告書</u></b>		
Planning Statement/Justifications 規劃綱領/理據	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Environmental assessment (noise, air and/or water pollutions) 環境評估 (噪音、空氣及／或水的污染)	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on vehicles) 就車輛的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Traffic impact assessment (on pedestrians) 就行人的交通影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Visual impact assessment 視覺影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Landscape impact assessment 景觀影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Tree Survey 樹木調查	<input type="checkbox"/>	<input type="checkbox"/>
Geotechnical impact assessment 土力影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Drainage impact assessment 排水影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Sewerage impact assessment 排污影響評估	<input type="checkbox"/>	<input type="checkbox"/>
Risk Assessment 風險評估	<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify) 其他 (請註明)	<input type="checkbox"/>	<input type="checkbox"/>

Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。

## **Supplementary Statement**

### **1) Background**

- 1.1 The applicant seeks planning permission from the Town Planning Board (the Board) to use *Lots 1505 RP, 1506 S.A, 1506 S.B, 1506 S.C, 1506 S.D, 1506 S.E, 1506 RP, 1508 RP, 1509, 1510, 1511, 1517, 1518, 1519 RP, 1520 RP, 1522 RP, 1523, 1525, 1555 S.B RP (Part) and 1556 RP in D.D. 107 and Adjoining Government Land (GL), Kam Tin, Yuen Long, New Territories* (the Site) for **'Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities and Associated Filling of Land and Pond for a Period of 3 Years'** (proposed development) (**Plans 1 to 3**).
- 1.2 In view of the pressing demand for indoor storage space in recent years, the applicant would like to operate a warehouse in order to support the construction industry for the development in the New Territories.

### **2) Planning Context**

- 2.1 The Site currently falls within an area zoned as "Agriculture" ("AGR") on the Approved Kam Tin North Outline Zoning Plan No.: S/YL-KTN/11 (**Plan 2**). According to the Notes of the OZP, the applied use is neither a column one nor two use within the "AGR" zone, which requires planning permission from the Board.
- 2.2 The proposed development is situated in a rural setting characterised by brownfield uses, including sites occupied by temporary structures for warehouses, workshops and open storage yards, hence, the proposed development is considered not incompatible with the surrounding areas. Although the Site falls within "AGR" zone, there is currently no active agricultural activities at the Site and its vicinity. Approval of the current application on a temporary basis of 3 years would better utilize deserted agricultural land and would not jeopardize the long term planning intention of the "AGR" zone.
- 2.3 Several similar S.16 planning applications for/partly for 'warehouse' use were approved by the Board within the same "AGR" zone between in the past five years, which the application site of the latest application (No. A/YL-KTN/1126) is located approximately 380m northeast of the Site, was approved by the Board on a temporary basis in August 2025. Therefore, approval of the current application would not set undesirable precedent within the "AGR" zone.

- 2.4 The Site is the subject of two previous S.16 planning applications (Nos. A/YL-KTN/951 and 953) for the same use, that were submitted by the same applicant as the current application. The aforesaid applications were approved by the Board on a temporary basis of 3 years in December 2023. The current application is designed to consolidate the application sites of the two previous applications to enable comprehensive management, thereby facilitating the efficient operation of warehousing activities.
- 2.5 In comparison to the combined previous applications, majority of the development parameters (i.e. site area, number of structures, building height, storeys of buildings and provision of parking and loading/unloading (L/UL) spaces) remains unchanged. While there is a minor increase in gross floor area (GFA) (i.e. from 13,330m<sup>2</sup> to 13,453m<sup>2</sup>, +1%) to meet the operational needs. Comparison of the development parameters between the proposed scheme and the approved scheme under previous application No. A/YL-KTN/951 & 953 are summarized at **Appendix I**.
- 2.6 Since the scale and nature of the current application is similar to the previous applications combined, approval condition of the current application is considered in line with the Board's previous decision. During the approval period of the previous applications (No. A/YL-KTN/951 & 953), the applicant has made efforts in complying with approval conditions in regard to drainage and fire safety aspects
- 2.7 For drainage-related approval conditions, the applicant made several submissions of a drainage proposal/drainage impact assessment (DIA) for compliance with condition (d) of both applications whilst all submissions were considered not acceptable by the Chief Engineer/Mainland North, Drainage Services Department (CE/MN, DSD). Details are shown at **Table 1** below:

**Table 1** – The Submission of a Drainage Proposal/DIA for Compliance with Approval Condition (d) of applications Nos. A/YL-KTN/951 and 953

Application No.	Date of Submission	Comments received from CE/MN, DSD
A/YL-KTN/951	1 <sup>st</sup> Submission: 20.02.2024 2 <sup>nd</sup> Submission: 04.03.2025	1 <sup>st</sup> Reply: 07.05.2024 2 <sup>nd</sup> Reply: 27.05.2025
A/YL-KTN/953	1 <sup>st</sup> Submission: 20.02.2024 2 <sup>nd</sup> Submission: 04.03.2025	1 <sup>st</sup> Reply: 07.05.2024 2 <sup>nd</sup> Reply: 18.07.2025

2.8 For fire safety related approval conditions, the applicant made several submissions of a fire service installations (FSIs) proposal for comply with condition (g) of both applications whilst all submissions were considered not acceptable by the Director of Fire Services (D of FS). Details are shown at **Table 2** below:

**Table 2** – The Submission of a FSIs Proposal for Compliance with Approval Condition (g) of applications Nos. A/YL-KTN/951 and 953

Application No.	Date of Submission	Comments received from D of FS
A/YL-KTN/951	1 <sup>st</sup> Submission: 03.12.2024 2 <sup>nd</sup> Submission: 05.02.2025 3 <sup>rd</sup> Submission: 24.03.2025 4 <sup>th</sup> Submission: 26.05.2025	1 <sup>st</sup> Reply: 31.12.2024 2 <sup>nd</sup> Reply: 05.03.2025 3 <sup>rd</sup> Reply: 08.05.2025 4 <sup>th</sup> Reply: 09.07.2025
A/YL-KTN/953	1 <sup>st</sup> Submission: 05.12.2024 2 <sup>nd</sup> Submission: 05.02.2025 3 <sup>rd</sup> Submission: 24.03.2025 4 <sup>th</sup> Submission: 26.05.2025	1 <sup>st</sup> Reply: 31.12.2024 2 <sup>nd</sup> Reply: 05.03.2025 3 <sup>rd</sup> Reply: 08.05.2025 4 <sup>th</sup> Reply: 07.07.2025

2.9 The applicant did not have sufficient time to revise the DIA and FSIs proposals to address comments from CE/MN, DSD and D of FS, which led to the revocation of both applications on 08.06.2025.

### 3) Development Proposal

3.1 The Site occupied an area of 25,206 m<sup>2</sup> (about), including 171 m<sup>2</sup> (about) of GL (**Plan 3**). The operation hours of the Site are Monday to Saturday from 09:00 to 19:00. No operation on Sunday and public holiday. Six structures are proposed at the Site for warehouses (excl. D.G.G.) site offices, washrooms, FS pump room and FS water tank with total GFA of 13,453 m<sup>2</sup> (about) (**Plan 4**). The ancillary site office is intended to provide indoor workspace for administrative staff to support the daily operation of the Site. It is estimated that the Site would be able to accommodate 25 staff. As the Site is proposed for 'warehouse' use with no shopfront, no visitor is anticipated at the Site. Details of development parameters are shown at **Table 3** below:

**Table 3 – Major Development Parameters**

<b>Application Site Area</b>	25,206 m <sup>2</sup> (about), including 171 m <sup>2</sup> (about) of GL
<b>Covered Area</b>	13,453 m <sup>2</sup> (about)
<b>Uncovered Area</b>	11,753 m <sup>2</sup> (about)
<b>Plot Ratio</b>	
	0.53 (about)
<b>Site Coverage</b>	
	53% (about)
<b>Number of Structure</b>	
	6
<b>Total GFA</b>	
- Domestic GFA	Not applicable
- Non-Domestic GFA	13,453 m <sup>2</sup> (about)
<b>Building Height</b>	
	3.5 - 13 m (about)
<b>No. of Storey</b>	
	1

3.2 The proposed warehouse is intended for storage of miscellaneous goods (i.e. packaged food, apparel, footwear, electronic goods, furniture etc), which are typically packaged in bulk or large in size, light goods vehicle (LGV) and medium good vehicle (MGV) are required for transporting large quantities of goods to enhance operational efficiency. No dangerous goods and workshop activities will be stored/conducted at the Site at any time during the planning approval period.

3.3 According to the aerial photos taken on 05.10.1990 by Survey and Mapping Office, Lands Department, about 1,623m<sup>2</sup> of the Site was found as ponds and have been filled since the 1990s. The current application serves to regularise the filled pond areas to facilitate the

proposed development. In addition, the Site is proposed to be filled with concrete of not more than 0.2m (about) in depth, from +3.5 to 4.2 mPD to +3.7 to 4.4 mPD, for site formation of structures and circulation space (**Plan 5**). As heavy loading of structures and vehicles would compact the existing soiled ground and weaken the ground surface, concrete site formation is required to meet the operation needs and that has been kept to minimal for the operation of the proposed development. The applicant will reinstate the Site to an amenity area after the planning approval period.

- 3.4 The Site is accessible from San Tam Road via Shui Mei Road and a local access (**Plan 1**). A total of 25 parking for staff and loading/unloading (L/UL) spaces are provided at the Site, details are shown at **Table 4** below:

**Table 4 – Parking and Loading/Unloading Provisions**

Type of Space	No. of Space
Private Car (PC) Parking Space - 2.5 m (W) x 5 m (L)	11
L/UL Space for LGV - 3.5 m (W) x 11 m (L)	7
L/UL Space for MGV - 3.5 m (W) x 16 m (L)	7

- 3.5 Sufficient space is provided for vehicle to smoothly manoeuvre within the Site to ensure that no vehicle will turn back onto the public road and local access (**Plan 6**). Staff will be deployed at the junction of San Tam Road and the ingress/egress of the Site to direct incoming and outgoing container vehicles to enhance road safety along the public road and local access. As traffic generated and attracted by the proposed development is minimal (as shown at **Table 5** below), adverse traffic impact should not be anticipated.

**Table 5 – Estimated Trip Generation and Attraction**

Time Period	PC		LGV		MGV		2-Way Total
	In	Out	In	Out	In	Out	
Trips at <u>AM peak</u> per hour (09:00 – 10:00)	7	0	3	0	0	0	10
Trips at <u>PM peak</u> per hour (17:00 – 18:00)	0	7	0	3	0	0	10
Traffic trip per hour (average) (10:00 – 17:00)	1	1	2	2	1	1	8

- 3.6 No open storage, dismantling, maintenance, repairing, cleansing, paint spraying or other workshop activities, and storage of dangerous goods will be carried out at the Site at any time during the planning approval period. 2.5 high solid metal wall will be erected along the site boundary to minimise the potential nuisance to the surroundings. The boundary wall will be installed properly by licensed contractor to prevent misalignment of walls, to ensure that there is no gap or slit on the boundary wall.
- 3.7 The applicant will strictly follow the '*Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites*' issued by Environmental Protection Department (EPD) to minimise adverse environmental impacts and nuisance to the surrounding area. The applicant will strictly comply with all environmental protection / pollution control ordinances, i.e. *Water Pollution Control Ordinance, Air Pollution Control Ordinance, Noise Control Ordinance* etc. at all times during the planning approval period. The applicant will follow the '*Professional Persons Environmental Consultative Committee Practice Notes (ProPECCPNs)*' for sewage treatment at the Site.

#### **4) Conclusion**

- 4.1 The proposed development will not create significant nuisance to the surrounding areas. Adequate mitigation measures will be provided by the applicant, i.e. the submission of a DIA and FSIs proposal to mitigate any adverse impact that would arise from the proposed development after planning permission has been granted from the Board.
- 4.2 In view of the above, the Board is hereby respectfully recommended to approve the subject application for '**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities and Associated Filling of Land and Pond for a Period of 3 Years**'.

**R-riches Planning Limited**

**October 2025**

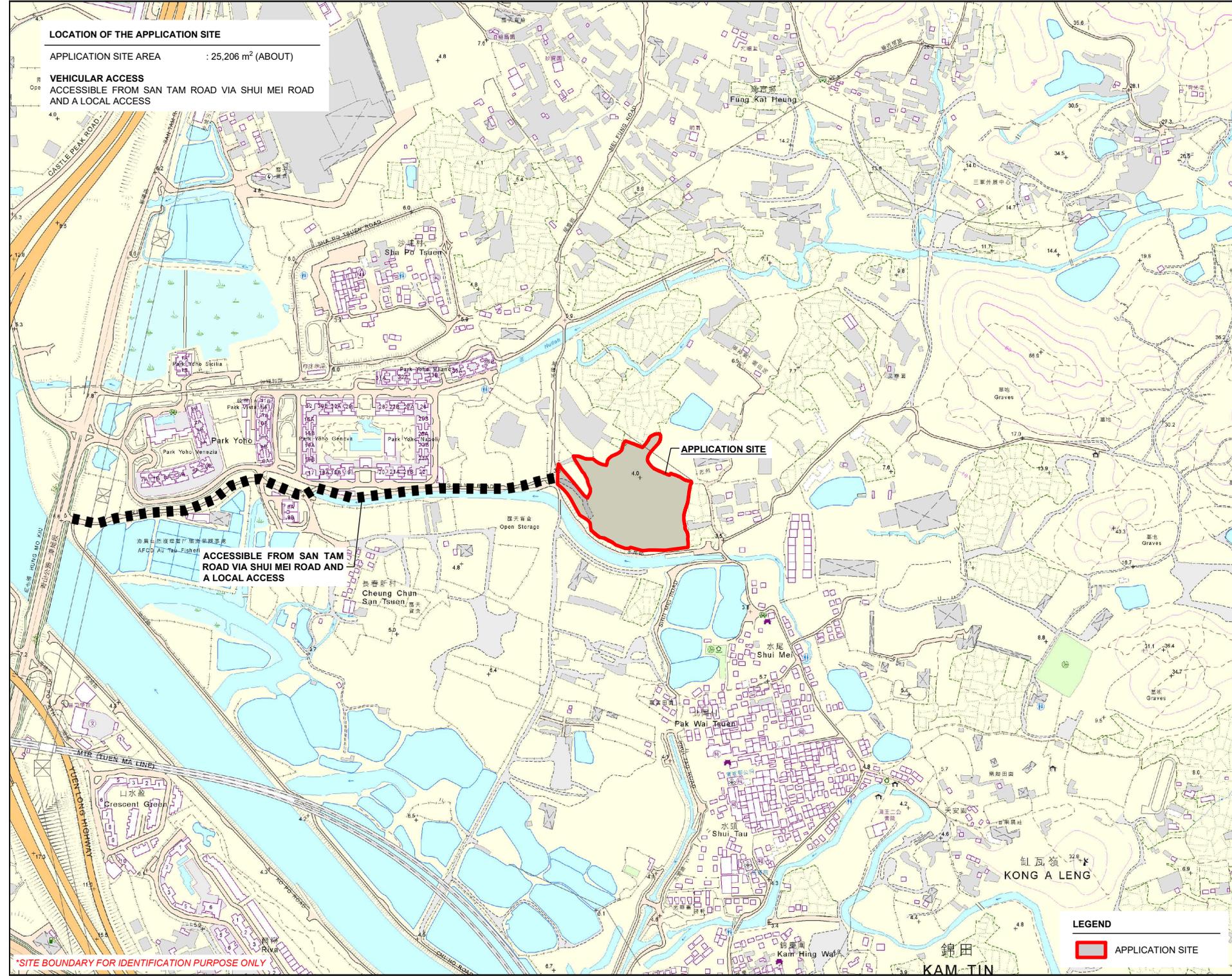
**LOCATION OF THE APPLICATION SITE**

APPLICATION SITE AREA : 25,206 m<sup>2</sup> (ABOUT)

**VEHICULAR ACCESS**

ACCESSIBLE FROM SAN TAM ROAD VIA SHUI MEI ROAD AND A LOCAL ACCESS

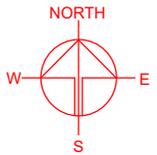
4.0



APPLICATION SITE

ACCESSIBLE FROM SAN TAM ROAD VIA SHUI MEI ROAD AND A LOCAL ACCESS

\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY



PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GODOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE  
1 : 8000 @ A4

DRAWN BY MN	DATE 6.8.2025
REVISED BY	DATE
APPROVED BY	DATE

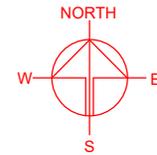
DWG. TITLE LOCATION PLAN	
DWG. NO. PLAN 1	VER. 001

**LEGEND**

APPLICATION SITE

**ZONING OF THE APPLICATION SITE**

APPLICATION SITE AREA : 25,206m<sup>2</sup> (ABOUT)  
 OUTLINE ZONING PLAN : APPRROVED KAM TIN NORTH OZP  
 OZP PLAN NO. : S/YL-KTN/11  
 ZONING OF THE SITE : "AGR" - "AGRICULTURE"



SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

PLANNING CONSULTANT  
 R-RICHES PLANNING LIMITED

PROJECT  
 PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GODOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS

SITE LOCATION  
 VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE 1 : 8000 @ A4	
DRAWN BY MN	DATE 6.8.2025
REVISED BY	DATE
APPROVED BY	DATE
DWG. TITLE ZONING OF THE SITE	
DWG NO. PLAN 2	VER. 001

LEGEND  
 APPLICATION SITE

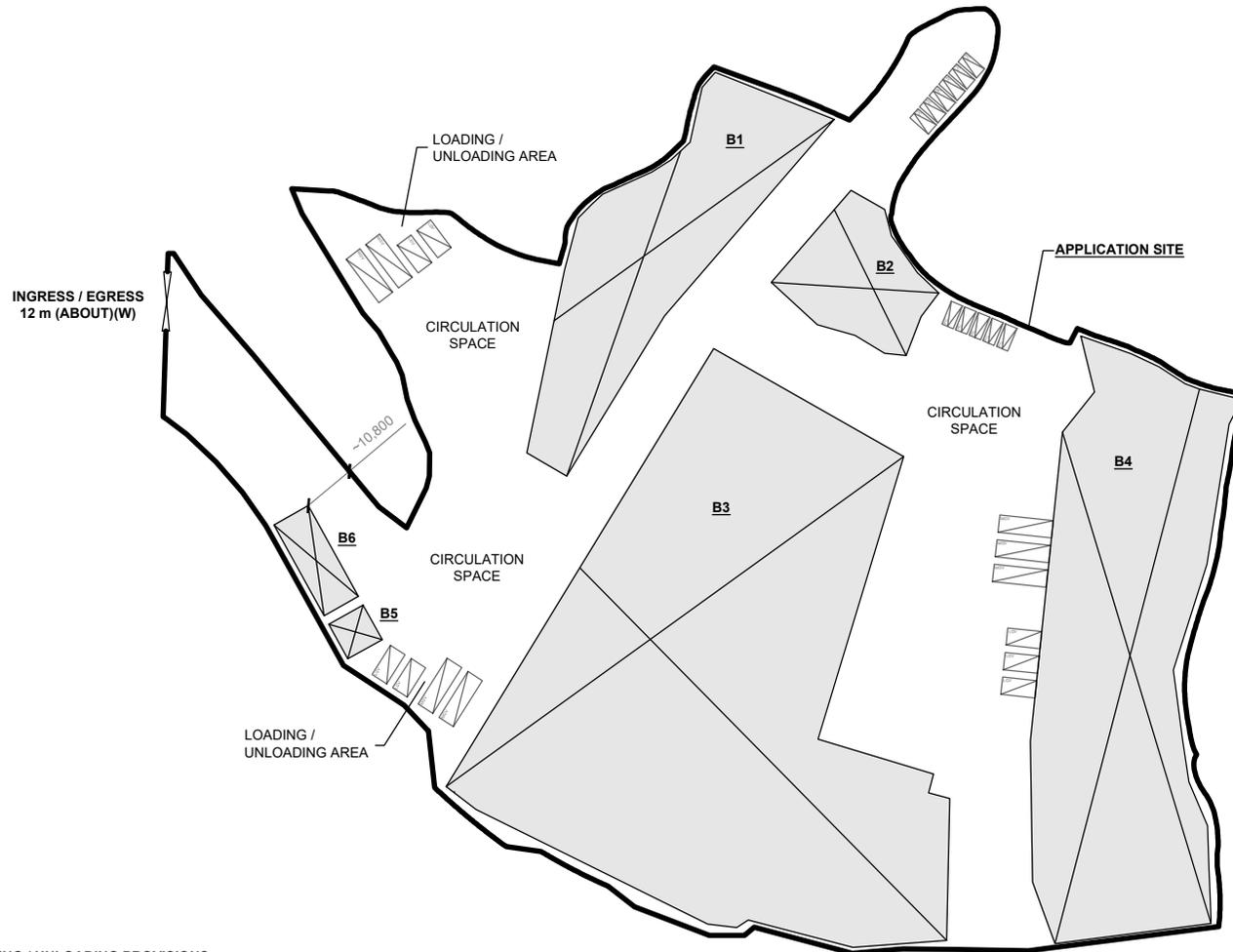
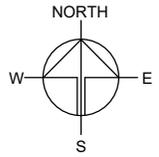


**DEVELOPMENT PARAMETERS**

APPLICATION SITE AREA	: 25,206 m <sup>2</sup>	(ABOUT)
COVERED AREA	: 13,453 m <sup>2</sup>	(ABOUT)
UNCOVERED AREA	: 11,573 m <sup>2</sup>	(ABOUT)
PLOT RATIO	: 0.53	(ABOUT)
SITE COVERAGE	: 53 %	(ABOUT)
NO. OF STRUCTURE	: 6	
DOMESTIC GFA	: NOT APPLICABLE	
NON-DOMESTIC GFA	: 13,453 m <sup>2</sup>	(ABOUT)
TOTAL GFA	: 13,453 m <sup>2</sup>	(ABOUT)
BUILDING HEIGHT	: 3.5 - 13 m	(ABOUT)
NO. OF STOREY	: 1	

STRUCTURE	USE	COVERED AREA	GROSS FLOOR AREA	BUILDING HEIGHT
B1	WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM	1,784 m <sup>2</sup> (ABOUT)	1,784 m <sup>2</sup> (ABOUT)	13 m (ABOUT)(1-STOREY)
B2	WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM	616 m <sup>2</sup> (ABOUT)	616 m <sup>2</sup> (ABOUT)	13 m (ABOUT)(1-STOREY)
B3	WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM	7,154 m <sup>2</sup> (ABOUT)	7,154 m <sup>2</sup> (ABOUT)	13 m (ABOUT)(1-STOREY)
B4	WAREHOUSE (EXCL. D.G.G.) SITE OFFICE AND WASHROOM	3,667 m <sup>2</sup> (ABOUT)	3,667 m <sup>2</sup> (ABOUT)	13 m (ABOUT)(1-STOREY)
B5	FS PUMP ROOM	64 m <sup>2</sup> (ABOUT)	64 m <sup>2</sup> (ABOUT)	3.5 m (ABOUT)(1-STOREY)
B6	FS WATER TANK	168 m <sup>2</sup> (ABOUT)	168 m <sup>2</sup> (ABOUT)	3.5 m (ABOUT)(1-STOREY)
<b>TOTAL</b>		<b>13,453 m<sup>2</sup> (ABOUT)</b>	<b>13,453 m<sup>2</sup> (ABOUT)</b>	

\*D.G.G. - DANGEROUS GOODS GODOWN



**PARKING AND LOADING / UNLOADING PROVISIONS**

NO. OF PRIVATE CAR PARKING SPACE	: 11
DIMENSION OF PARKING SPACE	: 5 m (L) x 2.5 m (W)
NO. OF L/UL SPACE FOR LIGHT GOODS VEHICLE	: 7
DIMENSION OF L/UL SPACE	: 7 m (L) x 3.5 m (W)
NO. OF L/UL SPACE FOR MEDIUM GOODS VEHICLE	: 7
DIMENSION OF L/UL SPACE	: 11 m (L) x 3.5 m (W)

**LEGEND**

	APPLICATION SITE
	STRUCTURE
	PARKING SPACE (PC)
	LOADING / UNLOADING SPACE (LGV)
	LOADING / UNLOADING SPACE (MGV)
	INGRESS / EGRESS

PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GODOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 1500 @ A4

DRAWN BY	DATE
MN	25.8.2025

REVISED BY	DATE

APPROVED BY	DATE

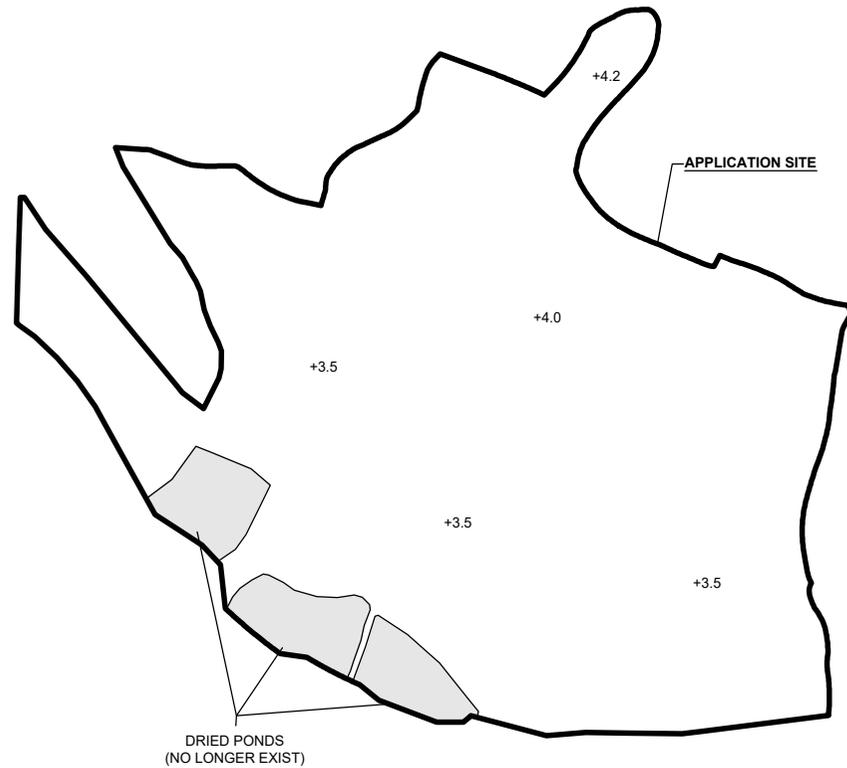
DWG. TITLE  
LAYOUT PLAN

DWG NO.	VER.
PLAN 4	001

**EXISTING CONDITION OF THE APPLICATION SITE**

APPLICATION SITE AREA	: 25,206 m <sup>2</sup>	(ABOUT)
EXISTING DRIED POND AREA*	: 1,623 m <sup>2</sup>	(ABOUT)
DEPTH OF POND	: 0.5 m	(ABOUT)
EXISTING SOILED AREA	: 23,583 m <sup>2</sup>	(ABOUT)
EXISTING SITE LEVELS	: +3.5 mPD TO +4.2 mPD	(ABOUT)

\*THE DRIED PONDS HAVE ALREADY BEEN FILLED SINCE THE 1990s. THE APPLIED 'FILLING OF POND' IS INTENDED TO REGULARIZE THE POND FILLING AREAS AT THE APPLICATION SITE.



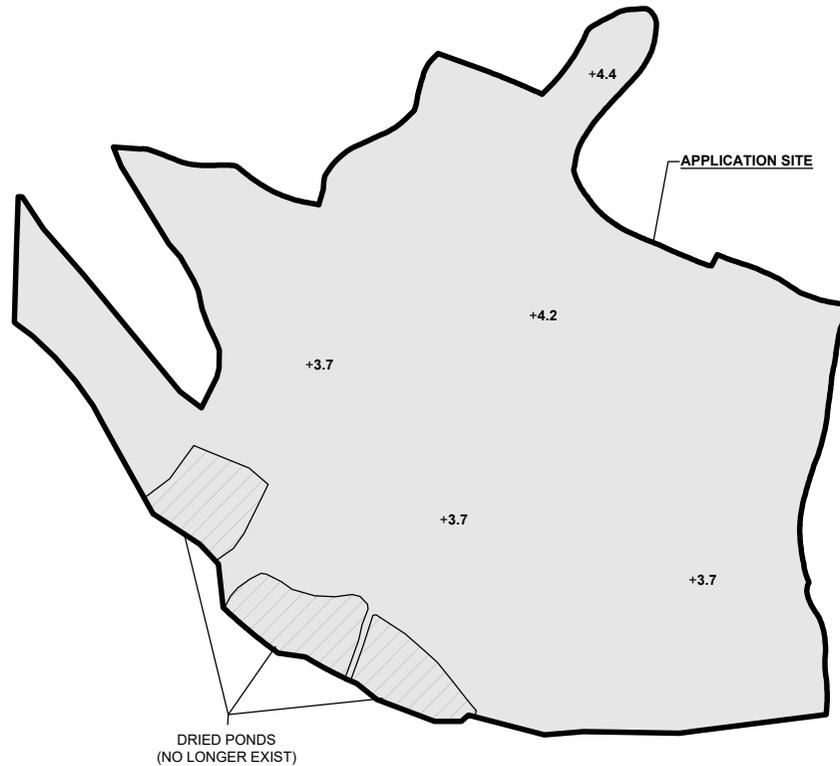
**LEGEND**

	APPLICATION SITE
	EXISTING DRIED POND
+3.5	SITE LEVEL

\*SITE LEVELS ARE FOR ILLUSTRATION PURPOSE ONLY

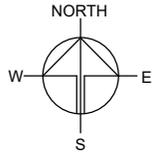
**PROPOSED FILLING OF LAND AND POND AREA**

APPLICATION SITE AREA	: 25,206 m <sup>2</sup>	(ABOUT)
COVERED BY STRUCTURE	: 13,453 m <sup>2</sup>	(ABOUT)
PROPOSED LAND FILLING AREA	: 25,206 m <sup>2</sup>	(ABOUT)
DEPTH OF LAND FILLING	: NOT MORE THAN 0.2 m	(ABOUT)
PROPOSED SITE LEVELS	: +3.7 mPD TO +4.4 mPD	(ABOUT)
MATERIAL OF LAND FILLING	: CONCRETE	
USE	: SITE FORMATION OF STRUCTURES, AND CIRCULATION AREA	
PROPOSED POND FILLING AREA	: 1,623 m <sup>2</sup>	(ABOUT)
DEPTH OF POND FILLING	: 0.5 m	(ABOUT)



**LEGEND**

	APPLICATION SITE
	PROPOSED LAND FILLING AREA
	PROPOSED POND FILLING AREA
+3.7	SITE LEVEL



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PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS GODOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS

SITE LOCATION

VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 2000 @ A4

DRAWN BY	DATE
MN	6.8.2025
REVISED BY	DATE
APPROVED BY	DATE

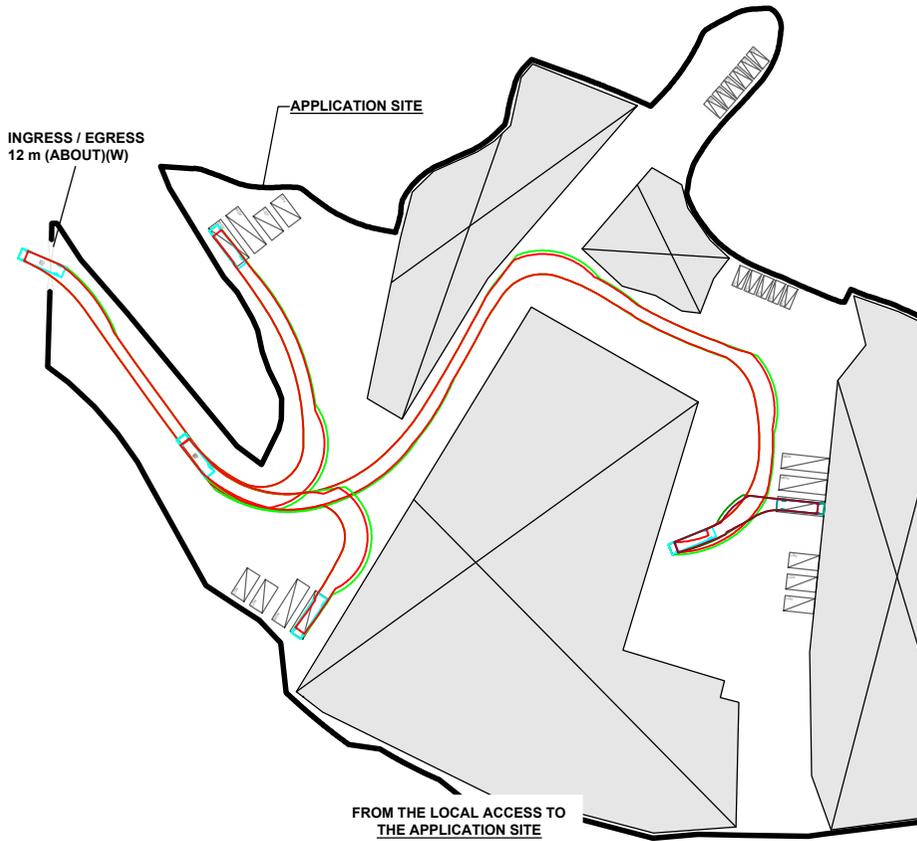
DWG. TITLE  
FILLING OF LAND AREA

DWG NO.	VER.
PLAN 5	001

**SWEPT PATH ANALYSIS**

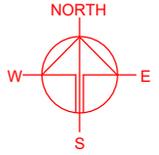
TYPE OF VEHICLE : MEDIUM GOODS VEHICLE  
 DIMENSION OF VEHICLE : 2.5 m (W) X 11 m (L)

SWEPT PATHS GENERATED BY AUTODESK VEHICLE TRACKING



**LEGEND**

- APPLICATION SITE
- STRUCTURE
- PARKING SPACE (PC)
- LOADING / UNLOADING SPACE (LGV)
- LOADING / UNLOADING SPACE (MGV)
- INGRESS / EGRESS
- MEDIUM GOODS VEHICLE
- SWEPT PATH ANALYSIS



PLANNING CONSULTANT



PROJECT

PROPOSED WAREHOUSE (EXCLUDING DANGEROUS ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS) TEMPORARY GODOWN WITH

SITE LOCATION

VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES

SCALE

1 : 1750 @ A4

DRAWN BY

MN

DATE

6.8.2025

CHECKED BY

DATE

APPROVED BY

DATE

DWG. TITLE

SWEPT PATH ANALYSIS

DWG NO.

PLAN 6

VER.

001

\*SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

### **LIST OF PLANS**

<b>Plan 1</b>	Location Plan
<b>Plan 2</b>	Plan Showing the Zoning of the Application Site
<b>Plan 3</b>	Plan Showing the Land Status of the Application Site
<b>Plan 4</b>	Layout Plan
<b>Plan 5</b>	Plan Showing the Filling of Land Area of the Application Site
<b>Plan 6</b>	Swept Path Analysis

### **APPENDICES**

<b>Appendix I</b>	Comparison Table
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## LIST OF APPENDICES

**Appendix I**      Comparison Table



**Appendix I**  
Comparison Table



**Appendix I - Development Parameters Between the Proposed Scheme and the Previous Applications Nos. A/YL-KTN/951 and 953**

	A/YL-KTN/951 (a)	A/YL-KTN/953 (b)	Current Application (c)	Difference (c)-[(a)+(b)]
Site Area	17,052 m <sup>2</sup> (about)	8,154 m <sup>2</sup> (about)	25,206 m <sup>2</sup> (about)	-
Covered Area	9,554 m <sup>2</sup> (about)	3,776 m <sup>2</sup> (about)	13,453 m <sup>2</sup> (about)	+123m <sup>2</sup>
Uncovered Area	7,498 m <sup>2</sup> (about)	4,378 m <sup>2</sup> (about)	11,753 m <sup>2</sup> (about)	-109m <sup>2</sup>
<b>Total GFA</b>	9,554 m <sup>2</sup> (about)	3,776 m <sup>2</sup> (about)	13,453 m <sup>2</sup> (about)	+123m <sup>2</sup>
- Domestic GFA	Not applicable	Not applicable	Not applicable	
- Non-Domestic GFA	9,554 m <sup>2</sup> (about)	3,776 m <sup>2</sup> (about)	13,453 m <sup>2</sup> (about)	
Plot Ratio	0.56	0.46	0.53	-
Site Coverage	56%	46%	53%	-
No. of Structure	3	1	6	+2
Building Height	13 m	13 m	13 m	-
No. of Storey	1	1	1	-
No. of Parking Spaces	6 (PC)	5 (PC)	11 (PC)	-
No. of L/UL and Spaces	4 (LGV) 4 (MGV)	3 (LGV) 3 (MGV)	7 (LGV) 7 (CV)	-

Our Ref. : DD107 Lot 1505 RP & VL  
Your Ref. : TPB/A/YL-KTN/1180

The Secretary,  
Town Planning Board,  
15/F, North Point Government Offices,  
333 Java Road,  
North Point, Hong Kong

**By Email**

23 October 2025

Dear Sir,

**Supplementary Information**

**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities and Associated Filling of Land and Pond for a Period of 3 Years in "Agriculture" Zone, Various Lots in D.D. 107 and Adjoining Government Land, Fung Kat Heung, Yuen Long, N.T.**

**(S.16 Planning Application No. A/YL-KTN/1180)**

We are writing to submit supplementary information in support of the subject application **(Appendix I)**.

Should you require more information regarding the application, please contact our Mr. Danny NG at (852) 2339 0884 / dannyng@r-riches.com.hk or the undersigned at your convenience. Thank you for your kind attention.

Yours faithfully,

For and on behalf of  
**R-riches Planning Limited**



**Louis TSE**  
Town Planner

cc DPO/FSYLE, PlanD

(Attn.: Ms. Andrea YAN  
(Attn.: Mr. Ivan FUNG

email: awyyan@pland.gov.hk )  
email: isyfung@pland.gov.hk )

**Supplementary Information**

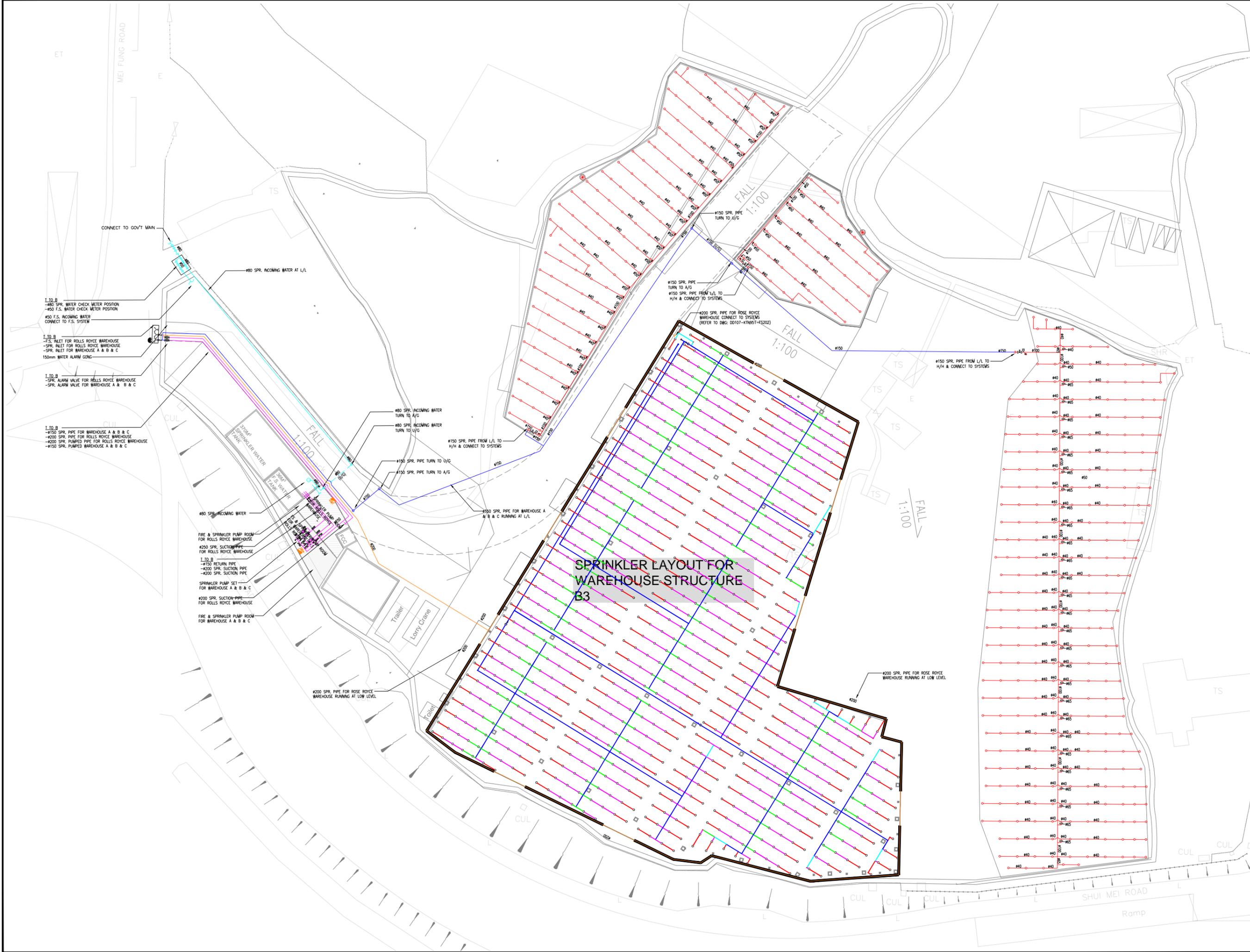
**Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities and Associated Filling of Land and Pond for a Period of 3 Years in “Agriculture” Zone, Various Lots in D.D. 107 and Adjoining Government Land, Fung Kat Heung, Yuen Long, N.T.**

**(Application No. A/YL-KTN/1180)**

- (a) The applicant has submitted the following documents in support of the current application:
- The proposed development will not create significant nuisance to the surrounding areas. Adequate mitigation measures have been provided by the applicant, i.e. the submission of a fire service installations proposal and a drainage impact assessment to mitigate any adverse impact that would arise from the proposed development (**Annexes I and II**).
- (b) The proposed development is intended solely for ‘warehouse’ development, the applicant will strictly follow the proposed scheme, and no open storage of vehicles will be carried out at the application site at any time during the planning approval period.

**Annex I**

Fire Service Installations Proposal



**SPRINKLER LAYOUT FOR WAREHOUSE STRUCTURE B3**

- I. TO B
- #80 SPR. WATER CHECK METER POSITION
- #50 F.S. WATER CHECK METER POSITION
- #50 F.S. INCOMING WATER CONNECT TO F.S. SYSTEM
- I. TO B
- F.S. INLET FOR ROLLS ROYCE WAREHOUSE
- SPR. INLET FOR ROLLS ROYCE WAREHOUSE
- SPR. INLET FOR WAREHOUSE A & B & C
- 150mm WATER ALARM CONC.
- I. TO B
- SPR. ALARM VALVE FOR ROLLS ROYCE WAREHOUSE
- SPR. ALARM VALVE FOR WAREHOUSE A & B & C
- I. TO B
- #150 SPR. PIPE FOR WAREHOUSE A & B & C
- #200 SPR. PIPE FOR ROLLS ROYCE WAREHOUSE
- #200 SPR. PLUMPED PIPE FOR ROLLS ROYCE WAREHOUSE
- #150 SPR. PLUMPED WAREHOUSE A & B & C

- FIRE & SPRINKLER PUMP ROOM FOR ROLLS ROYCE WAREHOUSE
- #250 SPR. SUCTION PIPE FOR ROLLS ROYCE WAREHOUSE
- I. TO B
- #150 RETURN PIPE
- #200 SPR. SUCTION PIPE
- #200 SPR. SUCTION PIPE
- SPRINKLER PUMP SET FOR WAREHOUSE A & B & C
- #200 SPR. SUCTION PIPE FOR ROLLS ROYCE WAREHOUSE
- FIRE & SPRINKLER PUMP ROOM FOR WAREHOUSE A & B & C

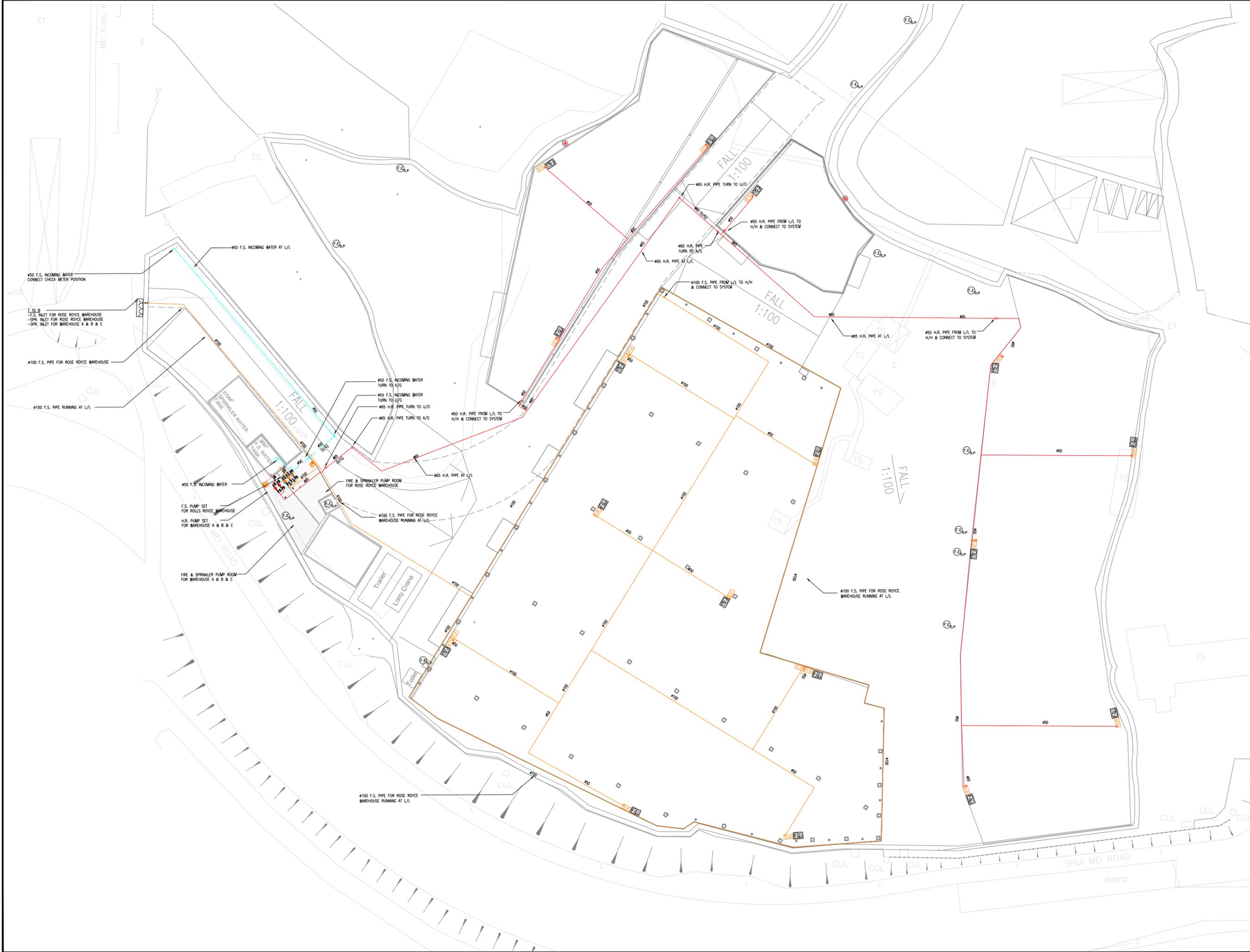
REV	DESCRIPTION	DATE
1	ISSUES FOR SUBMISSION	10/2020

TS CONTRACTOR  
**East Power Engineering Limited**  
 41, 20 Kowloon Street, Kowloon, HONG KONG  
 Tel.: 2384-3772 Fax.: 2387-3238

PROJECT  
 PROPOSED TEMPORARY WAREHOUSE (INCLUDING ENGINEERING DRAWING WITH NECESSARY FIXTURES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 2 YEARS)  
 REFERENCE NO.: A/16-K/1180

DRAWING TITLE  
 SPRINKLER SYSTEMS INSTALLATION LAYOUT AT G/F

DRAWN BY	INTAL	DESIGNATION	DATE
HW	EngT		
CHECKED BY	CF	PN	
PROJECT NO.	A/16-K/1180		
PAPER SIZE	A0		
DRAWING NO.	DD107-K/1661-F3101		
SCALE	1:500	REVISION	1



REV	DESCRIPTION	DATE
1	ISSUES FOR SUBMISSION	10/2020

FS CONTRACTOR  
**East Power Engineering Limited**  
 #128 Kowloon Street, Shekhar, Kowloon  
 Tel.: 2384-3772 Fax.: 2387-3238

PROJECT  
 PROPOSED TEMPORARY WAREHOUSE (INCLUDING  
 EMERGENCY STORAGE) WITH INVENTORY FRACING AND  
 ASSOCIATED FILLING OF LAND AND POND FOR A  
 PERIOD OF 2 YEARS  
 REFERENCE NO.: A/16-K/1180

DRAWING TITLE  
 FIRE SERVICE SYSTEMS INSTALLATION LAYOUT  
 AT G/F

DRAWN BY	INTAL	DESIGNER	DATE
HW	HW	EngT	
CHECKED BY	HW	EngT	
APPROVED BY	CE	PM	
PROJECT NO.	A/16-K/1180		
PAPER SIZE	A0		
DRAWING NO.	00107-K/1601-FS102		
SCALE	1:500	REVISION	1



# RESERVED DRAWING SPACE FOR SPRINKLER LAYOUT FOR STRUCTURE B3 WAREHOUSE



KEY PLAN

NOTES

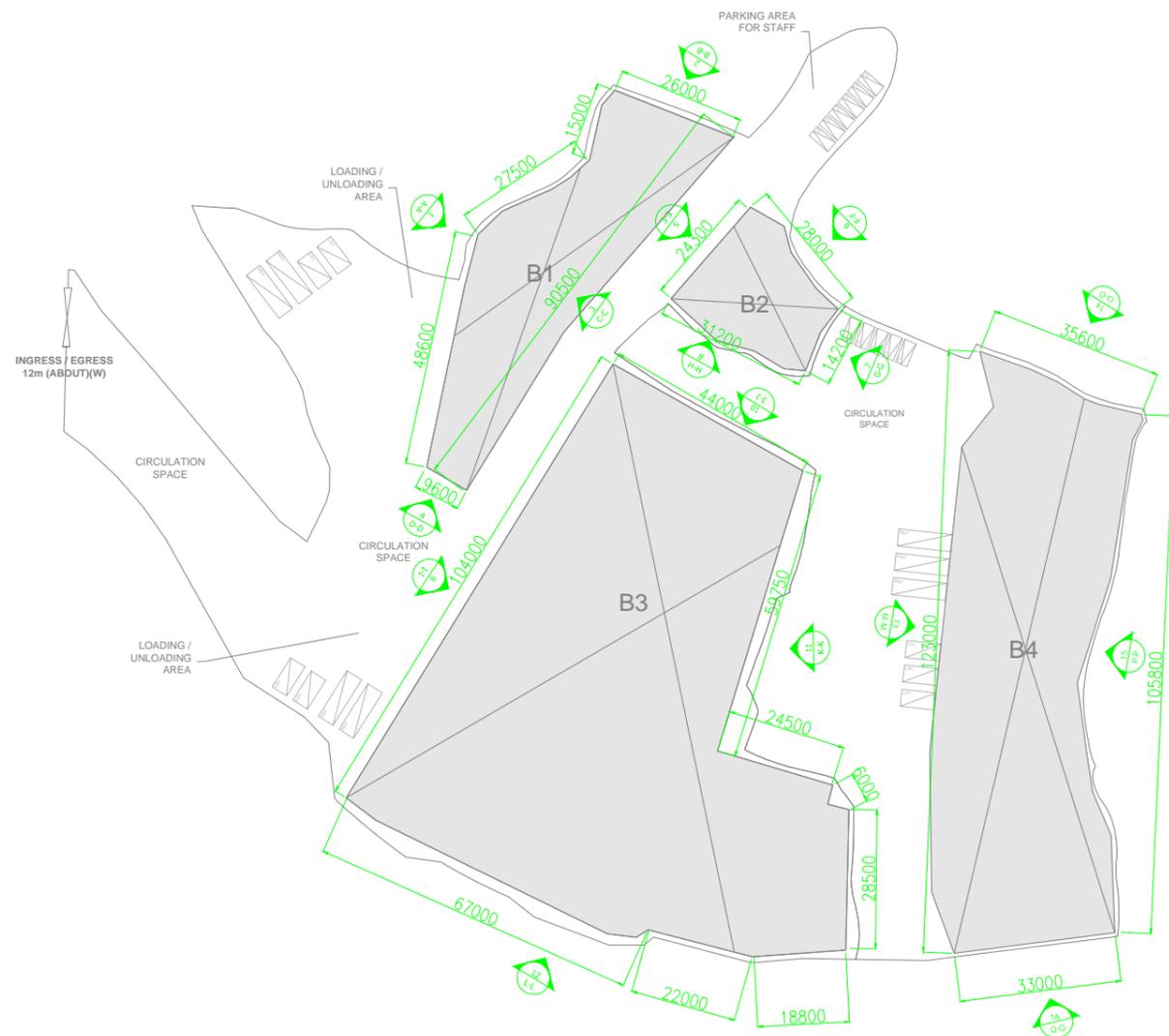

1	ISSUES FOR SUBMISSION	10/2025
REV	DESCRIPTION	DATE

FSI CONTRACTOR  
**East Power Engineering Limited**  
 Flat A, 7/F., Hop Sing Commercial Building,  
 41 Chi Kiang Street, Tseukwan, Kowloon  
 Fax : 2394-3772 Tel : 2397-3238

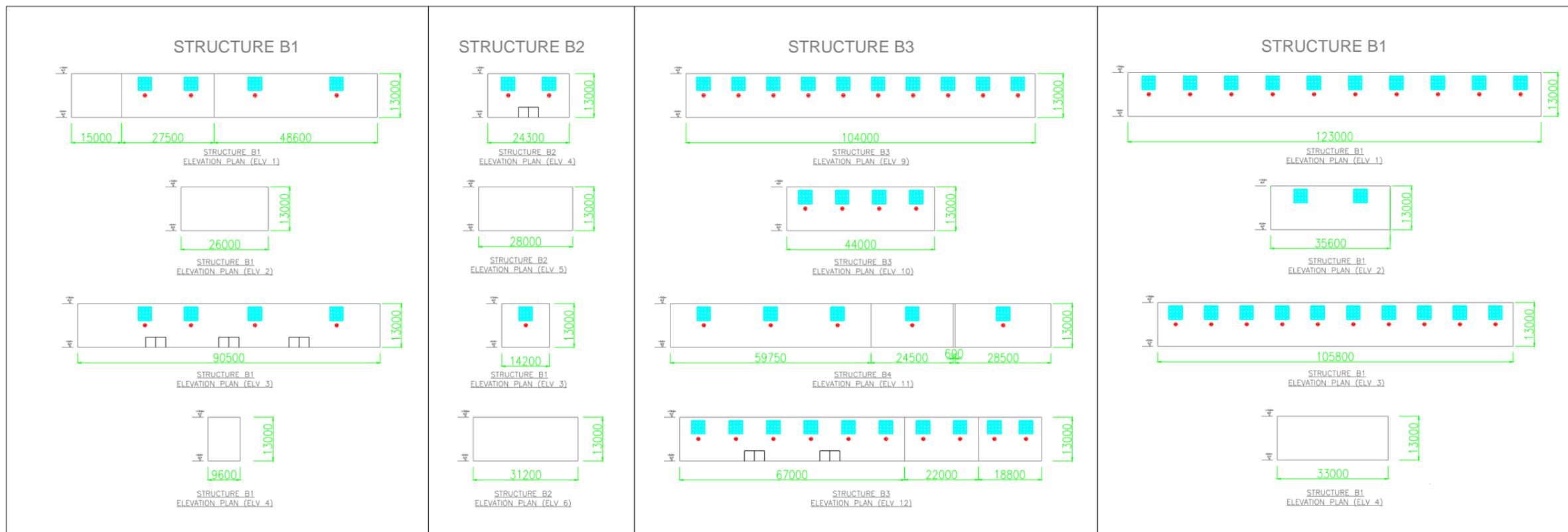
PROJECT  
 PROPOSED TEMPORARY WAREHOUSE (EXCLUDING DANGEROUS GOODS STORAGE) WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILLING OF LAND AT VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, FUNG KAT HEUNG, KAM TIN, YUEN LONG, NEW TERRITORIES  
 REFERENCE NO.: A/TL-KTN/951

DRAWING TITLE  
 SPRINKLER SYSTEMS INSTALLATION LAYOUT FOR WAREHOUSE ROSE ROYCE AT G/F

	INITIAL	DESIGNATION	DATE
DRAWN BY	HY	Eng.T	
DESIGNED BY	HY	Eng.T	
CHECKED BY	CM	PM	
APPROVED BY	-	-	-
PROJECT NO.	A/TL-KTN/951		
PAPER SIZE	A1		
DRAWING NO.	DD107-KTN951-FS003		
SCALE		REVISION	1



OPENABLE WINDOW AREA CALCULATION UNDER F.S.D. REQUIREMENT FOR COMPARTMENT EXCEEDING 7000M <sup>2</sup>			
LOCATION	USABLE FL. AREA (m <sup>2</sup> )	OPENABLE WINDOW AREA REQUIRED (m <sup>2</sup> )	OPENABLE WINDOW AREA PROVIDED (m <sup>2</sup> )
STRUCTURE B1	1784	1784 X 6.25% = 111.5	REFER TO ELEVATION 1 = 4 X (4 X 4) = 64 REFER TO ELEVATION 2 = 0 REFER TO ELEVATION 3 = 4 X (4 X 4) = 64 REFER TO ELEVATION 4 = 0 TOTAL = 128 > 111.5
STRUCTURE B2	616	616 X 6.25% = 38.5	REFER TO ELEVATION 5 = 2 X (4 X 4) = 32 REFER TO ELEVATION 6 = 0 REFER TO ELEVATION 7 = 1 X (4 X 4) = 16 REFER TO ELEVATION 4 = 0 TOTAL = 48 > 38.5
STRUCTURE B3	7154	7154 X 6.25% = 447.1	REFER TO ELEVATION 1 = 10 X (4 X 4) = 160 REFER TO ELEVATION 2 = 4 X (4 X 4) = 64 REFER TO ELEVATION 3 = 5 X (4 X 4) = 80 REFER TO ELEVATION 4 = 10 X (4 X 4) = 160 TOTAL = 464 > 447.1
STRUCTURE B4	3776	3776 X 6.25% = 236	REFER TO ELEVATION 1 = 10 X (4 X 4) = 160 REFER TO ELEVATION 2 = 0 REFER TO ELEVATION 3 = 0 REFER TO ELEVATION 4 = 10 X (4 X 4) = 160 TOTAL = 320 > 236



REV	DESCRIPTION	DATE
1	ISSUES FOR SUBMISSION	10/2025

FSI CONTRACTOR  
**East Power Engineering Limited**  
 Flat A, 7/F., Hop Sing Commercial Building,  
 41 Chi Kiang Street, Tolo, Kowloon  
 Tel. : 2394-3772 Fax. : 2397-3238

PROJECT  
 PROPOSED TEMPORARY WAREHOUSE (EXCLUDING DANGEROUS GOODS STORAGE) WITH ANCILLARY FACILITIES FOR A PERIOD OF 3 YEARS AND ASSOCIATED FILING OF LAND AT VARIOUS LOTS IN D.O. 107 AND ADJOINING GOVERNMENT LAND, FUNG KAT HEUNG, KAM TIN, YUEN LONG, NEW TERRITORIES  
 REFERENCE NO.: A/TL-KTN/951

DRAWING TITLE  
 OPENABLE WINDOW AREA CALCULATION FOR STRUCTURE

DRWN BY	INITIAL	DESIGNATION	DATE
DESIGNED BY	HY	Eng.T	
CHECKED BY	CM	PM	
APPROVED BY	-	-	-

PROJECT NO. A/TL-KTN/951  
 PAPER SIZE A1  
 DRAWING NO. DD107-KTN951-001  
 SCALE N.T.S. REVISION 1

**Annex II**  
Drainage Impact Assessment

# Excel Link Development Limited

**Proposed Temporary Warehouse (Excluding Dangerous Godown) with Ancillary Facilities and Associated Filling of Land and Pond for A Period of 3 Years, Various Lots in D.D. 107 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories**

## **Drainage Impact Assessment Report**



Document No. W1010/03

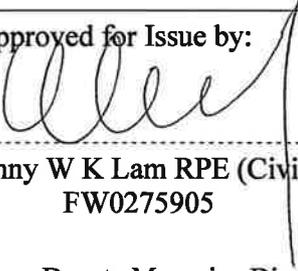
Issue 1

October 2025

W1010/03  
Issue 1  
October 2025

**Proposed Temporary Warehouse (Excluding Dangerous Godown) with Ancillary Facilities  
and Associated Filling of Land and Pond for A Period of 3 Years, Various Lots in D.D. 107  
and Adjoining Government Land, Kam Tin, Yuen Long, New Territories**

**Drainage Impact Assessment Report**

Approved for Issue by:	
	
-----	
Kenny W K Lam RPE (Civil) FW0275905	
Position:	Deputy Managing Director
-----	
Date:	21 October 2025
-----	

**Excel Link Development Ltd**  
205A Sik Kong Tsuen  
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New Territories

**Mannings (Asia) Consultants Ltd**  
5/F, Winning Commercial Building  
46-48 Hillwood Road  
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Kowloon

**Proposed Temporary Warehouse (Excluding Dangerous Godown) with Ancillary Facilities  
and Associated Filling of Land and Pond for A Period of 3 Years, Various Lots in D.D. 107  
and Adjoining Government Land, Kam Tin, Yuen Long, New Territories**

**Drainage Impact Assessment Report**

<b>Issue</b>	<b>Prepared by</b>	<b>Reviewed by</b>	<b>Date</b>
1	EM	BLE	21 Oct 2025

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**List of Appendix**

- Appendix A: Drawings
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**Drawing List of Appendix A**

Drawing No.	Revision	Drawing Title
W1010/111	-	Layout Plan
W1010/112	-	Cross Section
W1010/113	-	Drainage Layout Plan
W1010/114	-	Drainage Layout Plan – Structure Roofing
W1010/115	-	Catchment Plan – Before Development
W1010/116	-	Catchment Plan – After Development
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**List of Tables**

- Table 2.1 – Runoff Coefficients
- Table 2.2 – Minimum Pipeline Cover and Manhole Spacing Requirements
- Table 2.3 – Storm Constant of SDM
- Table 3.1 – Existing Drainage System in Vicinity of the Site
- Table 4.1 – Changes in Peak Runoff and Peak Velocity of Outfalls
- Table 6.1 – Detailed Requirements for Drainage Monitoring



**Abbreviations**

D.D.	Demarcation District
DIA	Drainage Impact Assessment
DSD	Drainage Services Department
GFA	Gross Floor Area
MACL	Mannings (Asia) Consultants Limited
PlanD	Planning Department
SDM	Stormwater Drainage Manual



## 1.0 Introduction

### 1.1 Background

1.1.1 The proposed development consists of proposed temporary warehouse (excluding dangerous godown) with ancillary facilities and associated filling of land and Pond for a period of 3 years at various lots in D.D. 107 and the adjoining government land, Kam Tin, Yuen Long, New Territories (“the Site”). The Section 16 application of the proposed development was approved on 6 December 2024.

1.1.2 Due to the concerns of possible drainage impacts arising from the change in land use, Mannings (Asia) Consultants Limited (MACL) was appointed by Excel Link Development Limited to undertake a Drainage Impact Assessment (DIA).

1.1.3 The Site has an area of about 25,206m<sup>2</sup> and it is currently covered by bituminous materials for open storage of vehicles. 6 nos. of structures are proposed for warehouses (excl. D.G.G.), site offices, washrooms, FS pump room and FS water tank with total GFA of 13,453 m<sup>2</sup>. The general layout plan and cross sections of the Site are shown in **Drawing Nos. W1010/111 and W1010/112** enclosed in **Appendix A**.

### 1.2 Objective of this submission

1.2.1 This submission presents the DIA for the Site. The objective of this assessment is to demonstrate the acceptability of any drainage impacts on the surrounding environment arising from the proposed development.

## 2.0 Design Methodology and Assumptions

### 2.1 Design Code

2.1.1 The below design codes are to be followed for this design assessment:

- Stormwater Drainage Manual (DSD) - Fifth Edition, January 2018;
- Stormwater Drainage Manual (DSD) - Corrigendum No. 1/2022;
- Stormwater Drainage Manual (DSD) - Corrigendum No. 1/2024;
- Stormwater Drainage Manual (DSD) - Corrigendum No. 2/2024;
- BS 5911 Code of Practice for Precast Concrete Pipe Design
- DSD Standard Drawings

### 2.2 Design Parameters

2.2.1 The following design parameters are adopted for this design assessment:

a) Runoff Coefficient

Table 2.1 – Runoff Coefficients

Surface Characteristic	Runoff Coefficient, C
Roof of Structure	1.00
Asphalt	0.90
Concrete	0.90
Grassland (heavy soil Flat), Unpaved Area	0.25

Roughness Coefficient for pipe flow  $k_s=3$

b) Minimum Pipeline Cover and Manhole Spacing Requirements

Table 2.2 – Minimum Pipeline Cover and Manhole Spacing Requirements

Minimum pipeline cover	
In Roads	0.9 m
In footways and verges	0.45 m
Manhole spacing requirements	
Pipe Diameter < 675 mm	80 m
675 < Pipe Diameter < 1050	100 m
Pipe Diameter > 1050	120 m

c) Bedding factors

- Granular bedding : 1.9
- Plain concrete bedding : 2.6
- Reinforced concrete bedding with allowance for minimum steel area : 3.4
- Concrete Surround : 4.5

d) Design Flow Velocity

- Minimum : 1 m/s
- Maximum : 3 m/s (desirable)
- : 6 m/s (absolute)

2.2.2 The return period of 1 in 50 years is adopted for this DIA for conservative purpose.

2.3 Description of Analysis Method

2.3.1 Rational method is adopted for calculation of the peak runoff. The formula is extracted from Section 7.5.2(a) of Stormwater Drainage Manual (SDM) which is to estimate the stormwater runoff as shown below:

$$Q_p = 0.278 CiA$$

- Where
- $Q_p$  = peak runoff in  $m^3/s$
  - $C$  = runoff coefficient (dimensionless)
  - $i$  = rainfall intensity in mm/hr
  - $A$  = catchment area in  $km^2$

2.3.2 10% reduction of the flow area is allowed taken into account of the decomposition of siltation as per DSD's SDM 2018.

2.3.3 The time of concentration used for determining the duration of the design storm is considered by the time of entry and the time of flow,

$$t_c = t_o + t_f \quad t_f = L/V$$

- where
- $t_o$  = inlet time (time taken for flow from the remotest point to reach the most upstream point of the urban drainage system)
  - $t_f$  = flow time
  - $L$  = Length of drain
  - $V$  = flow velocity

2.3.4 The time of entry or time of flow in the hinterland is calculated using the Bransby William's Equation.

$$t_e = \frac{0.14465 L}{A^{0.1} H^{0.2}}$$

- where
- $t_e$  = time of concentration (min)
  - $L$  = catchment length (m)
  - $A$  = catchment area ( $m^2$ )
  - $H$  = average catchment slope (m/100m)



2.3.5 The rainfall intensity is extracted from the Section 4.3.2 of SDM which is to estimate the Intensity-Duration –Frequency (IDF) Relationship.

$$i = a / (t_d + b)^c$$

where  $i$  = extreme mean intensity in mm/hr  
 $t_d$  = duration in minutes ( $t_d < 240$ ), and  
 $a, b, c$  = storm constants given in table 3 of SDM as below

Table 2.3 – Storm Constant of SDM

Return Period T (years)	50
a	505.5
b	3.29
c	0.355

2.3.6 Colebrook-White Equation is used in hydraulic design for pipe flow.

$$\bar{V} = -\sqrt{32gRS_f} \log \left[ \frac{k_s}{14.8R} + \frac{1.255\nu}{R\sqrt{32gRS_f}} \right]$$

where:

$\bar{V}$  = cross-sectional mean velocity (m/s)  
 $g$  = acceleration due to gravity ( $m/s^2$ )  
 $R$  = hydraulic radius =  $A/P$   
 $D$  = pipe diameter (m)  
 $k_s$  = surface roughness (m)  
 $\nu$  = kinematic viscosity ( $m^2/s$ ) =  $1e-6 m^2/s$  for storm water  
 $S_f$  = friction gradient (dimensionless)

2.3.7 Manning’s formula is used in hydraulic design for open channel flow.

$$\bar{V} = \frac{R^{1/6}}{n} \sqrt{RS_f}$$

where:

$\bar{V}$  = cross-sectional mean velocity (m/s)  
 $n$  = Manning coefficient ( $s/m^{1/3}$ )  
 $R$  = hydraulic radius =  $A/P$   
 $A$  = wetted cross-sectional area ( $m^2$ )  
 $P$  = wetted perimeter (m)  
 $S_f$  = gradient of channel

### 3.0 Existing and Proposed Drainage Condition

#### 3.1 Existing Site Condition and Existing Drainage System

- 3.1.1 The topography of the Site is generally flat, with current levels ranging from +3.5 mPD to +4.0 mPD. In general, the direction of existing surface runoff flows from north to south across the Site. Given that the ground levels of the Site are lower than those of the northern area, the Site is considered to have a moderate susceptibility to flooding. This report will evaluate any drainage impacts and propose necessary drainage controls to address and mitigate potential flood risks.
- 3.1.2 The catchment plan before the proposed development is shown in **Drawing No. W1010/115** enclosed in **Appendix A**.
- 3.1.3 Surface runoff collected from the catchments is discharged to the existing nullah (feature no. SCP1009603) via three drainage outfalls (feature no. SWD1065688, SWD1065692 and SWD1065695) and, eventually to Kam Tin River.

Table 3.1 – Existing Drainage System in Vicinity of the Site

DSD Feature No.	Description	Size (mm)	Main Channel Downstream
SCP1009603	Nullah	7500	Kam Tin River (SCP1006201)
SWD1065685	Pipeline	750	Nullah (SCP1009603)
SWD1065688	Pipeline	600	Nullah (SCP1009603)
SWD1065692	Pipeline	750	Nullah (SCP1009603)
SWD1065695	Pipeline	600	Nullah (SCP1009603)

- 3.1.4 The hydraulic assessment for the existing drainage system is presented in **Appendix B**.

#### 3.2 Drainage Condition with the Proposed Development

- 3.2.1 The proposed development consists of 6 nos. of structures for warehouses (excl. D.G.G.), site offices, washrooms, FS pump room and FS water tank. Upon project completion, the finished ground level of the Site will be raised to approximately +3.7 mPD to +4.4 mPD. Part of the Site area will be designated for 4 new covered structures, while the remaining open area will be paved completely by concrete and continued to be an opened space area. Additionally, some of these open areas are proposed to be served as access roads and parking spaces. A layout plan of the proposed development with **Drawing No. W1010/111** is enclosed in **Appendix A**.
- 3.2.2 The catchment plan upon completion of the proposed development is demonstrated in the **Drawing No. W1010/116** enclosed in **Appendix A**.



- 3.2.3 Surface runoff within the Site will be collected by the proposed drainage systems and discharged into the existing drains. The proposed drainage system consists of elevated pipes, U-channels and underground pipes. Drainage layout plan and details of drainage are shown in **Drawing Nos. W1010/113, W1010/114, W1010/211, W1010/212 and W1010/311** enclosed in **Appendix A**.
- 3.2.4 The proposed U-channels and drainage pipes are designed to have sufficient capacities for the estimated runoff collected from the Site.
- 3.2.5 The hydraulic assessment for the proposed drainage system is presented in **Appendix B**.
- 3.3 Changes in Land Use and Planned Drainage Works in Adjacent Area
- 3.3.1 There is no changes of land use and planned drainage works in adjacent area of the site.



#### 4.0 Potential Drainage Impact

##### 4.1 Changes in Land Use and Surface Runoff Characteristics

4.1.1 The Site is currently covered by bituminous materials for open storage of vehicles. Upon completion of the proposed development, the Site will be paved completely by concrete.

##### 4.2 Changes to Surface Runoff Hydrographs

4.2.1 Changes in surface from asphalt to concrete would negligible since the surface runoff coefficients of asphalt and concrete are the same. Thus, the impact on surface runoff hydrographs is considered negligible.

##### 4.3 Changes in Flood Storage

4.3.1 According to the site survey and observations, no flood storage was found near the Site.

##### 4.4 Hydraulic Bankfull Capacity of the Proposed Drainage System

4.4.1 The proposed drainage system is designed with sufficient capacity to cater the flow from the Site. Detailed calculations are attached in **Appendix B**.

##### 4.5 Potential Drainage Impact to Existing Drainage System

4.5.1 The table below shows the comparison of the peak runoff of the three outfalls before and after the development. Detailed calculations are attached in **Appendix B**.

Table 4.1 – Changes in Peak Runoff and Peak Velocity of Outfalls

Existing Drainage	Peak Flow Before Development (m <sup>3</sup> /s)	Peak Flow After Development (m <sup>3</sup> /s)	Capacity (m <sup>3</sup> /s)	Flow Difference	Utilization After Development
Outfall A (SNF1009827)	0.243	0.283	0.495	+16%	0.57
Outfall B (SNF1009826)	0.289	0.990	1.216	+243%	0.81
Outfall C (SNF1009823)	0.231	0.244	0.336	+5.6%	0.72
<b>Total</b>	<b>0.763</b>	<b>1.517</b>		<b>+264.6%</b>	



#### 4.6 Temporary Drainage during Construction

4.6.1 According to the site survey and observations, there is no existing drainage system in the Site. Therefore, no existing drainage system would be impacted during the construction phase. As a result, temporary drainage measures are considered unnecessary.

#### 4.7 Details of Works to Existing Drainage System

4.7.1 The proposed drainage systems within the site will connect to outfall A, outfall B and outfall C as shown in **Drawing Nos. W1010/113 and W1010/114 in Appendix A.**

#### 4.8 Potential Drainage Impacts to Other Land Users

4.8.1 All runoff on the Site will be collected and drained into the existing drainage system. No drainage impact on other land users is anticipated.



## **5.0 Mitigation Measures for Drainage Impact**

### **5.1 Proposed Mitigation Measures**

- 5.1.1 As shown in Table 4.1, the existing drainage system would have enough capacity to convey the increased surface runoff, and there is no anticipated drainage impact on other land users. Therefore, mitigation measures are considered unnecessary.
- 5.1.2 The Contractor should monitor during the construction to ensure that there is no adverse drainage impact to the nearby drainage systems and adjacent land users.

## 6.0 Monitoring Requirements

### 6.1 Monitoring During Construction

6.1.1 Monitoring of the drainage system is required during construction to ensure that there are no adverse impacts that could lead to flooding or deterioration in water quality.

6.1.2 Monitoring shall include:

- any siltation or blockages in channels, slit traps or sediment basins;
- checking the drainage is performing in accordance with the design;
- checking for damage; and
- visual inspection of any high sediment levels.

6.1.3 The detailed requirements for drainage monitoring should be as shown in the following table:

Table 6.1 – Detailed Requirements for Drainage Monitoring

Type / location of monitoring	Minimum Frequency	Action by
Prepare method statements	Before the start of any works that could impact on drainage	Contractor
Inspect existing drainage systems and all construction drainage systems for blockages or breakages	Daily, Weekly, Before every rainstorm warning	Contractor
	After every rainstorm	Contractor
Inspect sedimentation basins and silt traps	Daily, Weekly, Before every rainstorm warning	Contractor
	After every rainstorm	Contractor



## **7.0 Conclusion**

### 7.1 Conclusion

- 7.1.1 The drainage impact assessment has been conducted for the proposed land use changes in Fung Kat Heung. The existing drainage system has been assessed for the increased runoff from the catchment area. Based on our assessment, the existing drainage system would provide sufficient capacity to cater for the additional stormwater. No adverse drainage impact due to the development is expected.

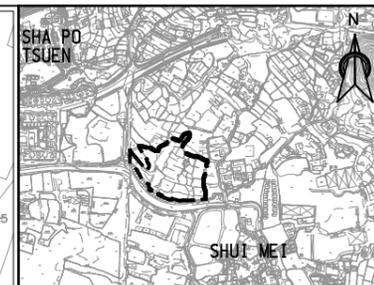
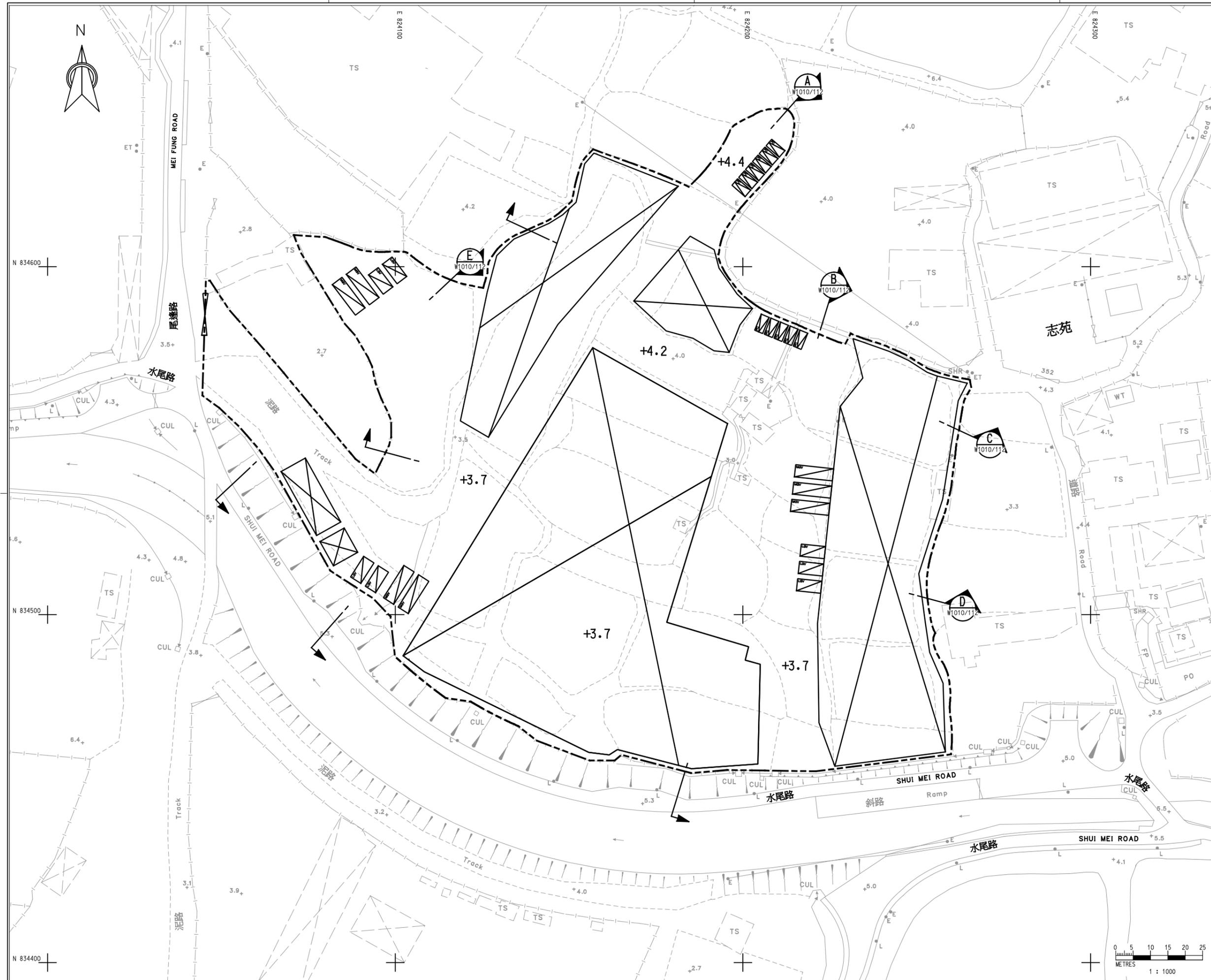


**MANNINGS** ■■■■

Proposed Temporary Warehouse (Excluding Dangerous Godown) with Ancillary Facilities and  
Associated Filling of Land and Pond for A Period of 3 Years, Various Lots in D.D. 107 and Adjoining  
Government Land, Kam Tin, Yuen Long, New Territories

## Appendix A

### Drawings



**KEY PLAN**  
SCALE 1:20000

- NOTES :**
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
  2. ALL LEVELS ARE IN mPD METRE ABOVE HONG KONG PRINCIPAL DATUM.

- LEGEND :**
- APPLICATION SITE
  - STRUCTURE
  - PARKING SPACE (PC)
  - LOADING / UNLOADING SPACE (LGV)
  - LOADING / UNLOADING SPACE (MGV)
  - INGRESS / EGRESS
  - PROPOSED SITE LEVEL

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Rev.	Description of Revision	Date	Ckd.

Client  
**EXCEL LINK DEVELOPMENT LIMITED**

Consultants  
 **MANNINGS**  
(Asia) Consultants Limited

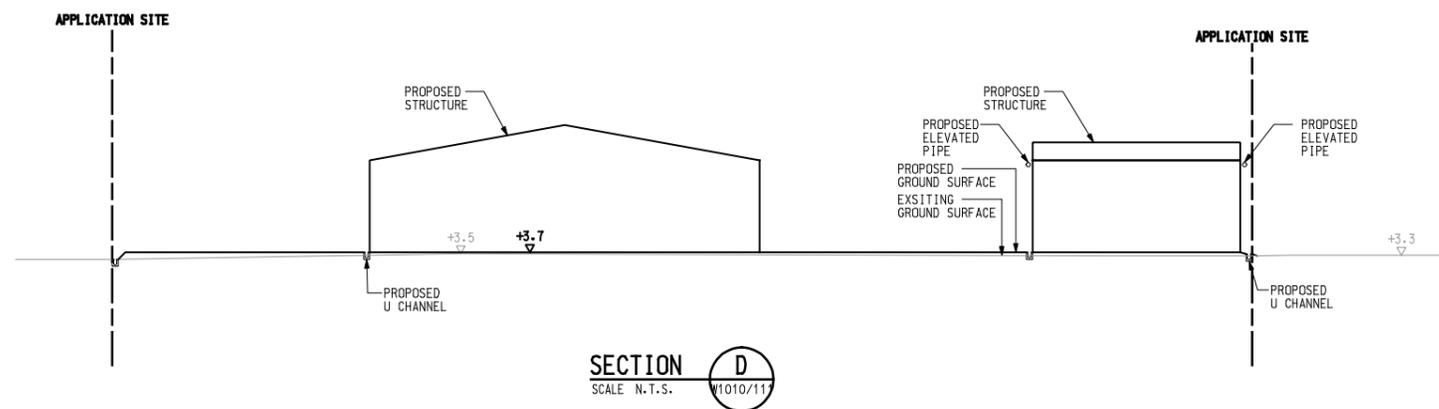
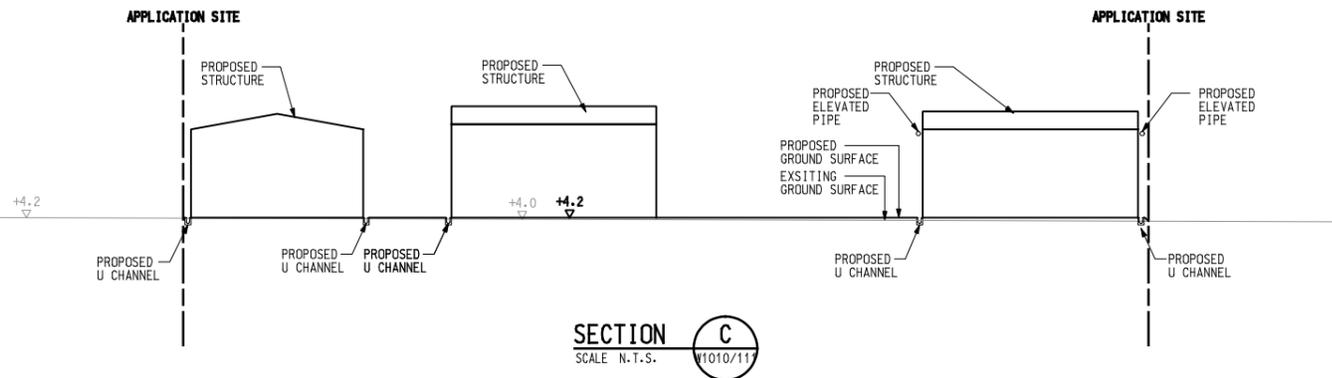
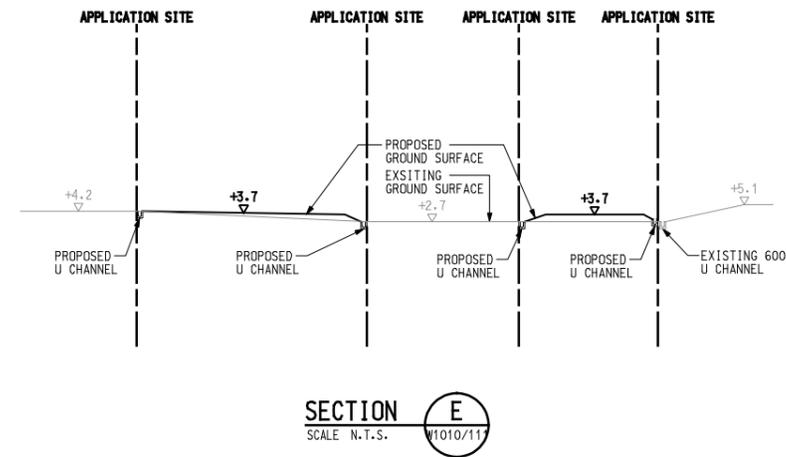
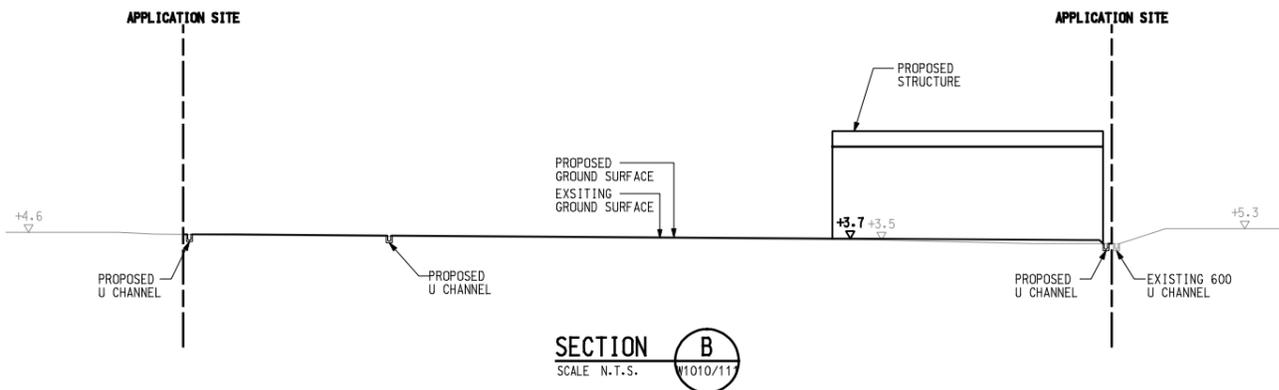
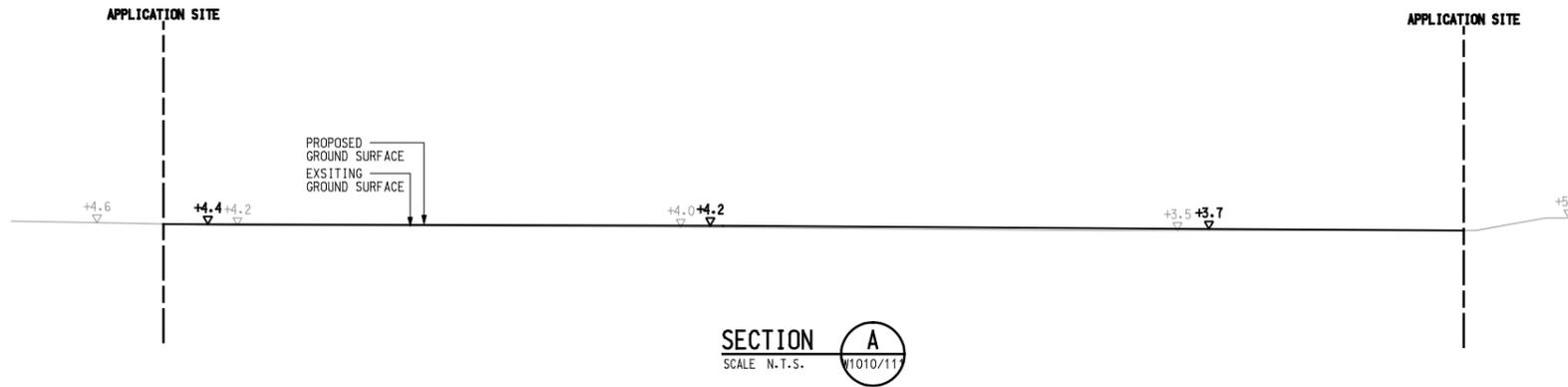
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Designed EM	Drawn KAM	Checked BLE
Design Team Leader SC		Date AUG 2025
Approved KTC		Date AUG 2025

Project  
**PROPOSED TEMPORARY WAREHOUSE (EXCLUDING DANGEROUS GODOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS, VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES**

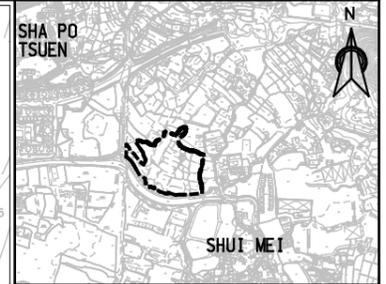
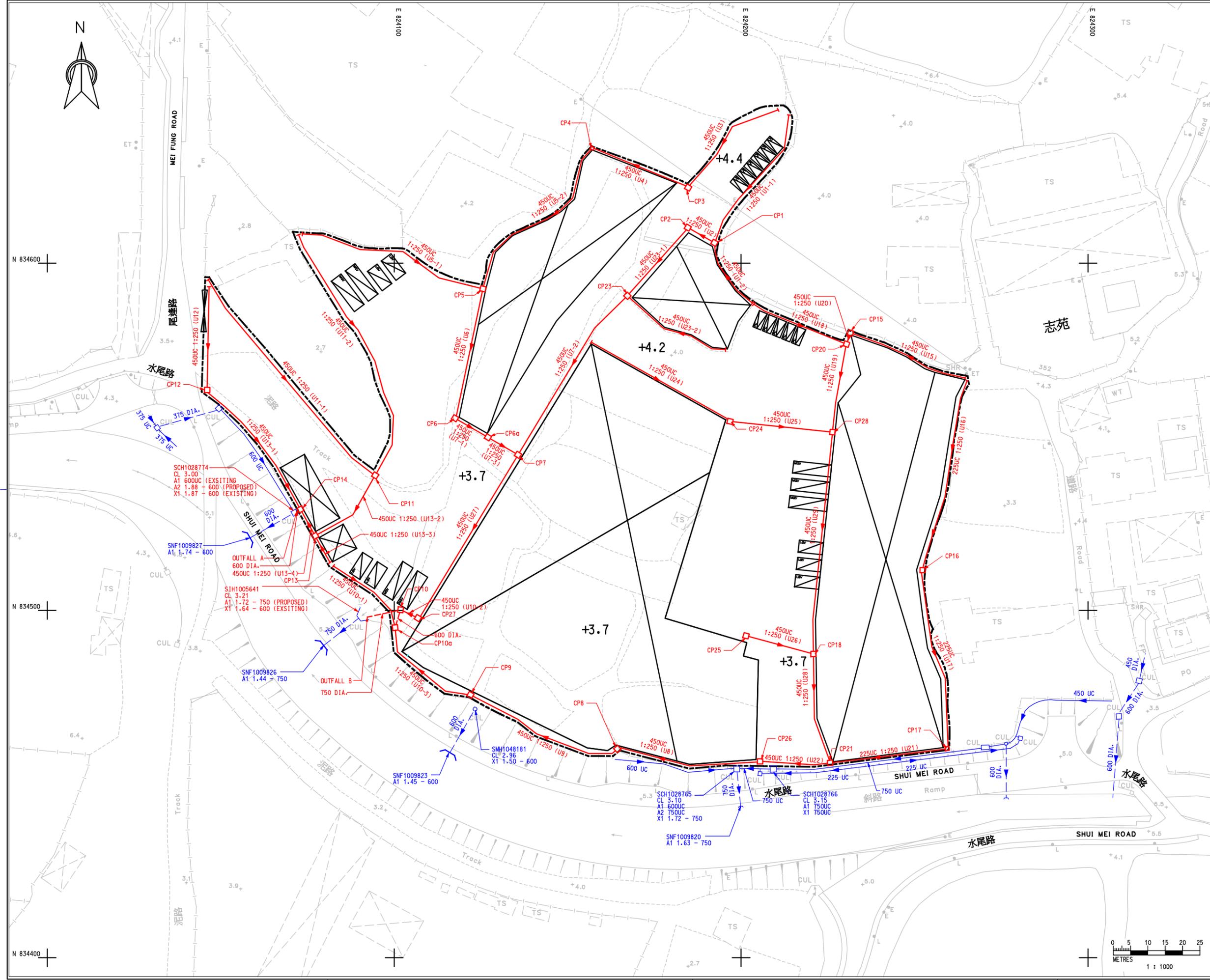
Title  
**LAYOUT PLAN**

Drawing No. <b>W1010/111</b>	Stage <b>P</b>	Rev. <b>-</b>
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- NOTES :**
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
  2. ALL LEVELS ARE IN mPD METRE ABOVE HONG KONG PRINCIPAL DATUM.



Rev.	Description of Revision	Date	Ckd.
Client <b>EXCEL LINK DEVELOPMENT LIMITED</b>			
Consultants <b>MANNINGS (Asia) Consultants Limited</b>			
Scale In A3 AS SHOWN		Date AUG 2025	
Designed EM	Drawn KAM	Checked BLE	
Design Team Leader SC		Date AUG 2025	
Approved KTC		Date AUG 2025	
Project <b>PROPOSED TEMPORARY WAREHOUSE (EXCLUDING DANGEROUS GODOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS, VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES</b>			
Title <b>CROSS SECTION</b>			
Drawing No. <b>W1010/112</b>		Stage <b>P</b>	Rev. <b>-</b>



**KEY PLAN**  
SCALE 1:20000

- NOTES :**
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
  - ALL LEVELS ARE IN MPD METRE ABOVE HONG KONG PRINCIPAL DATUM.

- LEGEND :**
- APPLICATION SITE
  - STRUCTURE
  - PARKING SPACE (PC)
  - LOADING / UNLOADING SPACE (LGV)
  - LOADING / UNLOADING SPACE (MGV)
  - INGRESS / EGRESS
  - PROPOSED SITE LEVEL
  - EXISTING U-CHANNEL
  - EXISTING PIPE
  - EXISTING MANHOLE
  - EXISTING CATCHPIT
  - PROPOSED U-CHANNEL
  - PROPOSED PIPE
  - PROPOSED MANHOLE
  - PROPOSED CATCHPIT

Rev.	Description of Revision	Date	Ckd.

Client  
**EXCEL LINK DEVELOPMENT LIMITED**

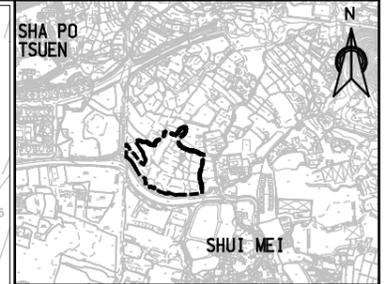
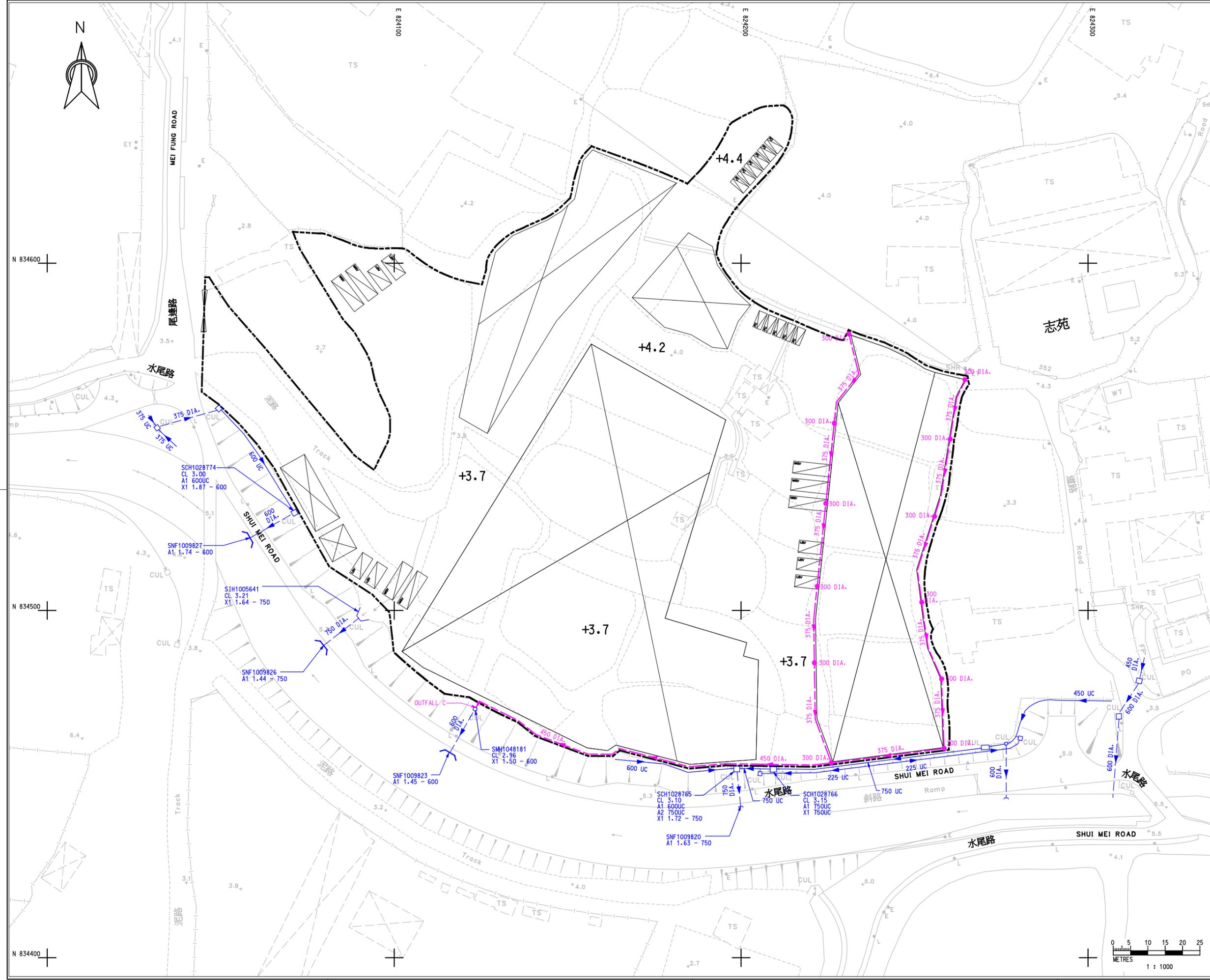
Consultants  
**MANNINGS (Asia) Consultants Limited**

Scale In A3 AS SHOWN	Date AUG 2025
Designed EM	Drawn KAM
Design Team Leader SC	Checked BLE
Approved KTC	Date AUG 2025

Project  
**PROPOSED TEMPORARY WAREHOUSE (EXCLUDING DANGEROUS GODOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS, VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES**

Title  
**DRAINAGE LAYOUT PLAN**

Drawing No. <b>W1010/113</b>	Stage <b>P</b>	Rev. <b>-</b>
---------------------------------	-------------------	------------------



**KEY PLAN**  
SCALE 1:20000

- NOTES :**
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
  2. ALL LEVELS ARE IN MPD METRE ABOVE HONG KONG PRINCIPAL DATUM.

- LEGEND :**
- APPLICATION SITE
  - STRUCTURE
  - PARKING SPACE (PC)
  - LOADING / UNLOADING SPACE (LGV)
  - LOADING / UNLOADING SPACE (MGV)
  - INGRESS / EGRESS
  - PROPOSED SITE LEVEL
  - PROPOSED DOWNPIPE
  - PROPOSED ELEVATED PIPE
  - EXISTING U-CHANNEL
  - EXISTING PIPE
  - EXISTING MANHOLE
  - EXISTING CATCHPIT

Rev.	Description of Revision	Date	Ckd.

Client  
**EXCEL LINK DEVELOPMENT LIMITED**

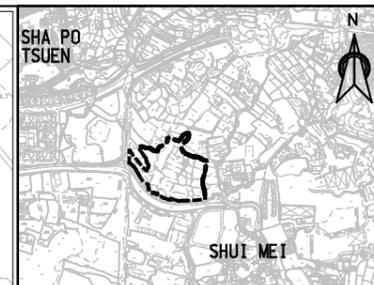
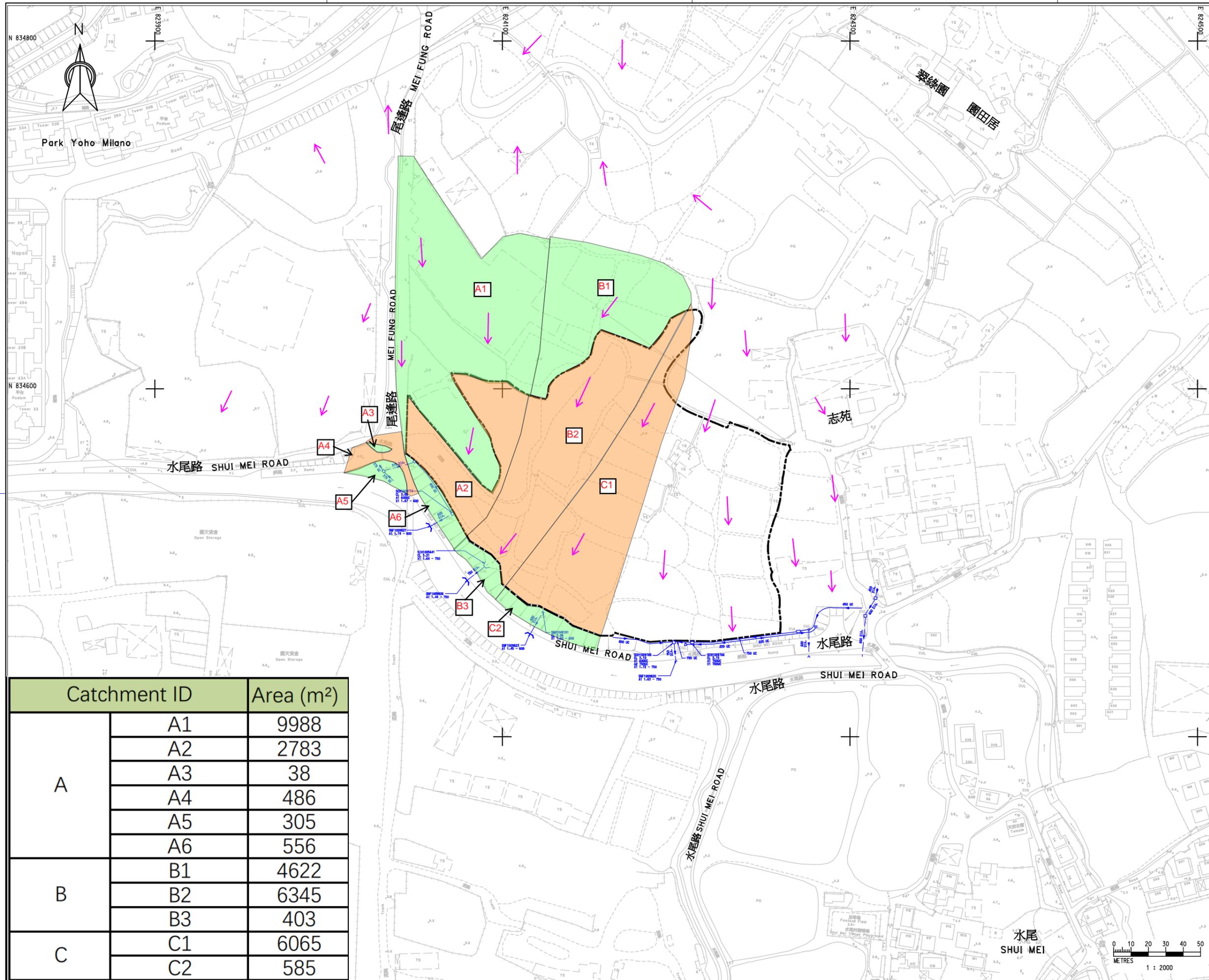
Consultants  
**MANNINGS (Asia) Consultants Limited**

Scale 1:n A3 AS SHOWN	Date AUG 2025	
Designed EM	Drawn KAM	Checked BLE
Design Team Leader SC	Date AUG 2025	
Approved KTC	Date AUG 2025	

Project  
**PROPOSED TEMPORARY WAREHOUSE (EXCLUDING DANGEROUS GODOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS, VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES**

Title  
**DRAINAGE LAYOUT PLAN - STRUCTURE ROOFING**

Drawing No. <b>W1010/114</b>	Stage <b>P</b>	Rev. <b>-</b>
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**KEY PLAN**  
SCALE 1:20000

- NOTES :**
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
  2. ALL LEVELS ARE IN MPD METRE ABOVE HONG KONG PRINCIPAL DATUM.

- LEGEND :**
- APPLICATION SITE
  - EXISTING U-CHANNEL
  - EXISTING PIPE
  - EXISTING MANHOLE
  - EXISTING CATCHPIT
  - UNPAVED AREA
  - PAVED AREA
  - RUNOFF DIRECTION

Rev.	Description of Revision	Date	Ckd.

Client  
**EXCEL LINK DEVELOPMENT LIMITED**

Consultants  
**MANNINGS (Asia) Consultants Limited**

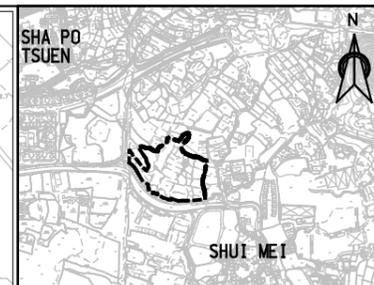
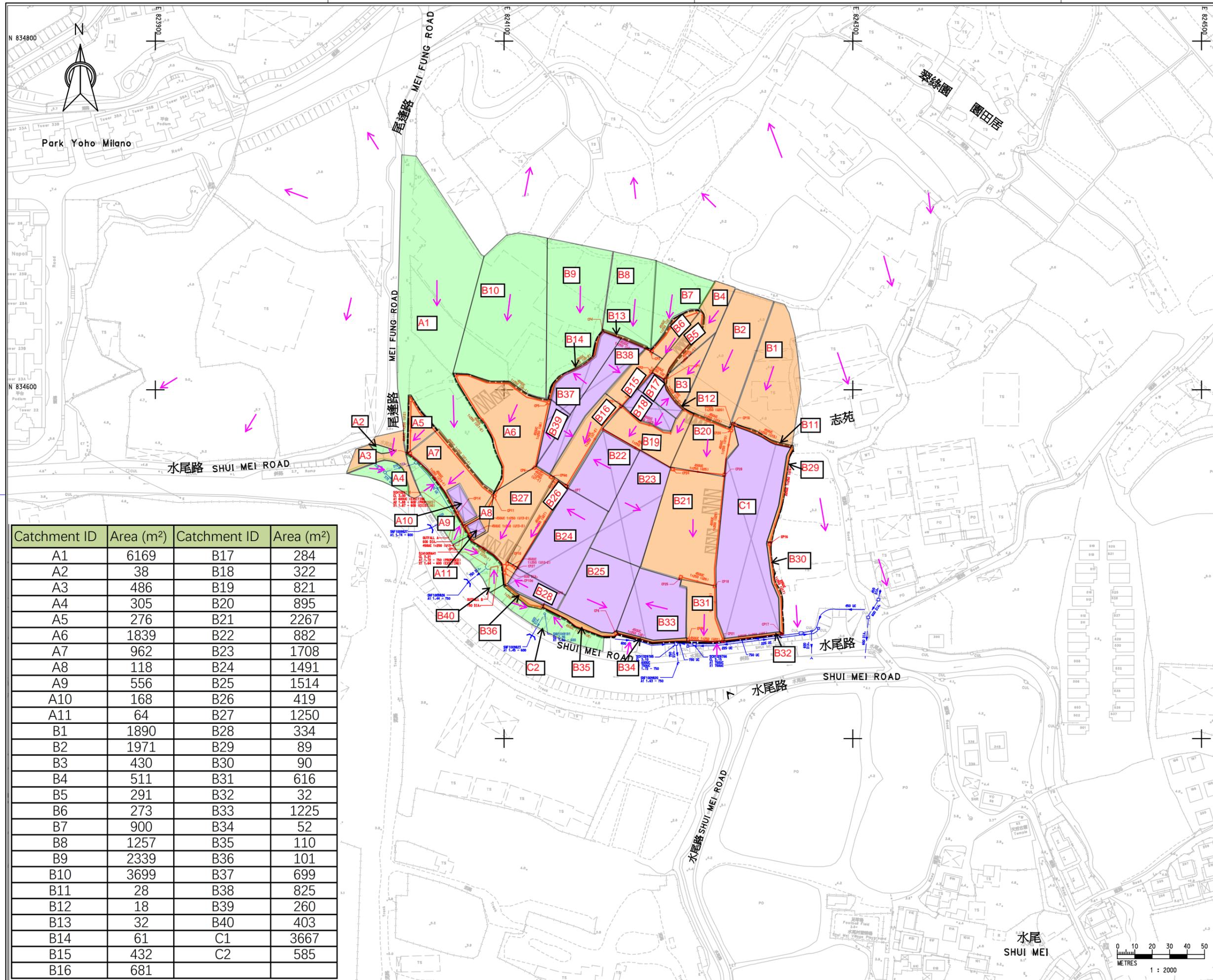
Scale 1:n AS SHOWN	Date AUG 2025	
Designed EM	Drawn KAM	Checked BLE
Design Team Leader SC	Date ABB 2025	
Approved KTC	Date AUG 2025	

Project  
**PROPOSED TEMPORARY WAREHOUSE (EXCLUDING DANGEROUS GODOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS, VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES**

Title  
**CATCHMENT PLAN - BEFORE DEVELOPMENT**

Drawing No. <b>W1010/115</b>	Stage <b>P</b>	Rev. <b>-</b>
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Catchment ID	Area (m <sup>2</sup> )	
A	A1	9988
	A2	2783
	A3	38
	A4	486
	A5	305
	A6	556
B	B1	4622
	B2	6345
	B3	403
C	C1	6065
	C2	585



**KEY PLAN**  
SCALE 1:20000

- NOTES :**
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
  2. ALL LEVELS ARE IN MPD METRE ABOVE HONG KONG PRINCIPAL DATUM.

- LEGEND :**
- APPLICATION SITE
  - EXISTING U-CHANNEL
  - EXISTING PIPE
  - EXISTING MANHOLE
  - EXISTING CATCHPIT
  - PROPOSED U-CHANNEL
  - PROPOSED PIPE
  - PROPOSED MANHOLE
  - PROPOSED CATCHPIT
  - UNPAVED AREA
  - PAVED AREA
  - ROOFING AREA
  - RUNOFF DIRECTION

Catchment ID	Area (m <sup>2</sup> )	Catchment ID	Area (m <sup>2</sup> )
A1	6169	B17	284
A2	38	B18	322
A3	486	B19	821
A4	305	B20	895
A5	276	B21	2267
A6	1839	B22	882
A7	962	B23	1708
A8	118	B24	1491
A9	556	B25	1514
A10	168	B26	419
A11	64	B27	1250
B1	1890	B28	334
B2	1971	B29	89
B3	430	B30	90
B4	511	B31	616
B5	291	B32	32
B6	273	B33	1225
B7	900	B34	52
B8	1257	B35	110
B9	2339	B36	101
B10	3699	B37	699
B11	28	B38	825
B12	18	B39	260
B13	32	B40	403
B14	61	C1	3667
B15	432	C2	585
B16	681		

Rev.	Description of Revision	Date	Ckd.

Client  
**EXCEL LINK DEVELOPMENT LIMITED**

Consultants  
**MANNINGS (Asia) Consultants Limited**

Scale	Date
In A3 AS SHOWN	AUG 2025

Designed	Drawn	Checked
EM	KAM	BLE

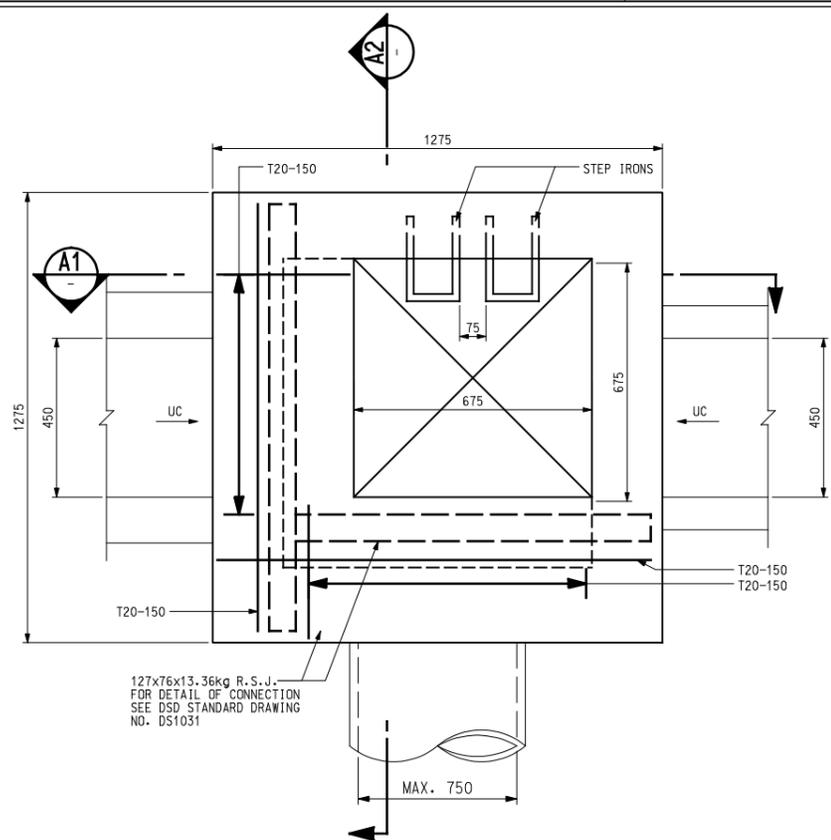
Design Team Leader	Date
SC	AUG 2025

Approved	Date
KTC	AUG 2025

Project  
**PROPOSED TEMPORARY WAREHOUSE (EXCLUDING DANGEROUS GODOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS, VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES**

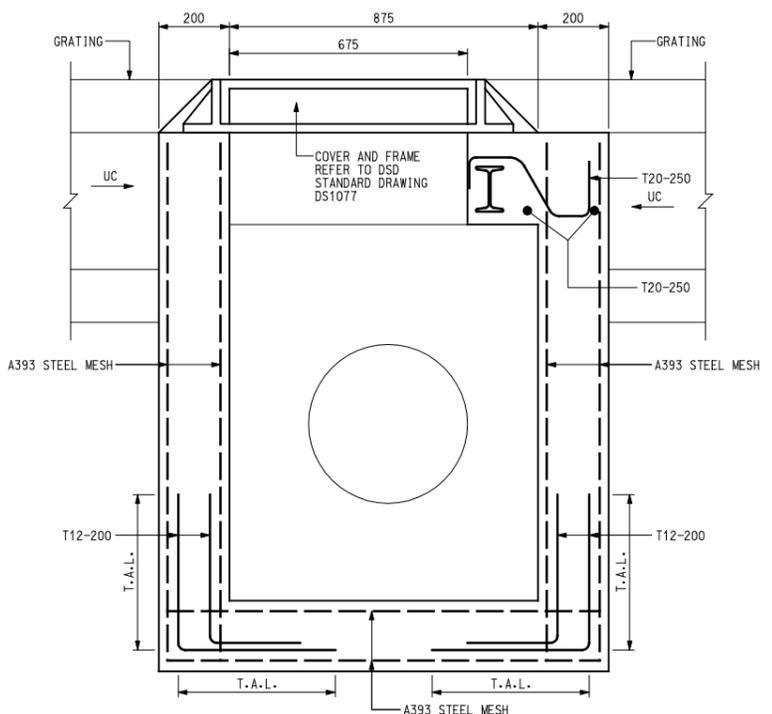
Title  
**CATCHMENT PLAN - AFTER DEVELOPMENT**

Drawing No.	Stage	Rev.
<b>W1010/116</b>	<b>P</b>	<b>-</b>

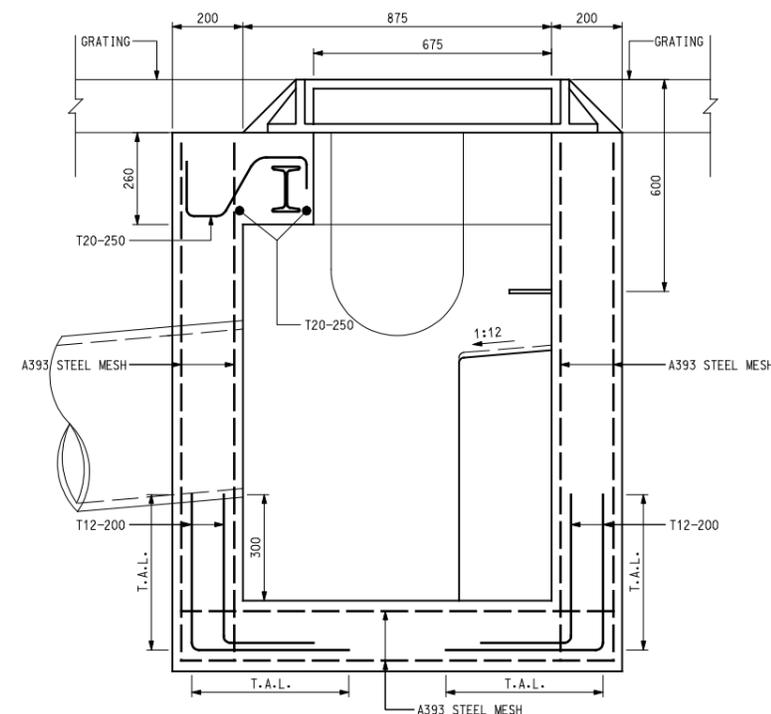


127x76x13.36kg R.S.J. FOR DETAIL OF CONNECTION SEE DSD STANDARD DRAWING NO. DS1031

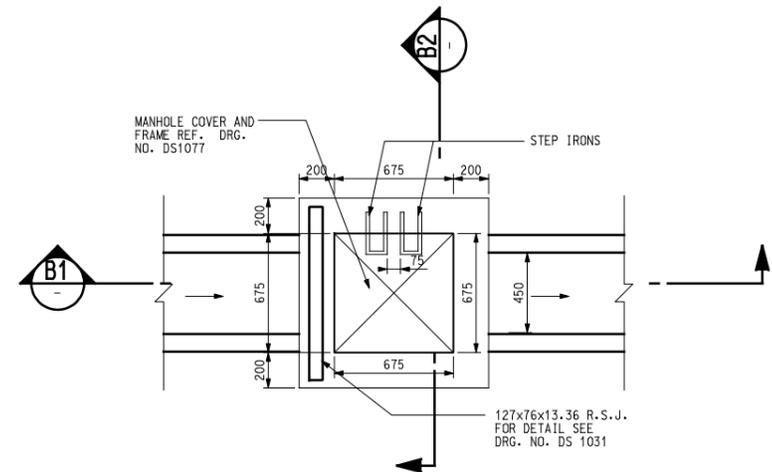
**TYPICAL DETAILS OF CATCHPIT TYPE A**  
SCALE 1:20



**SECTION A1**  
SCALE 1:20

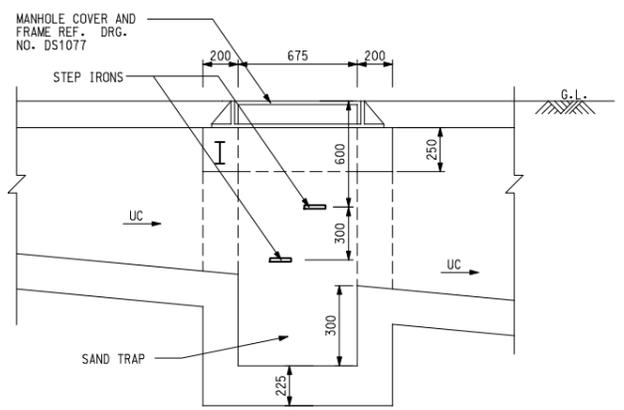


**SECTION A2**  
SCALE 1:20

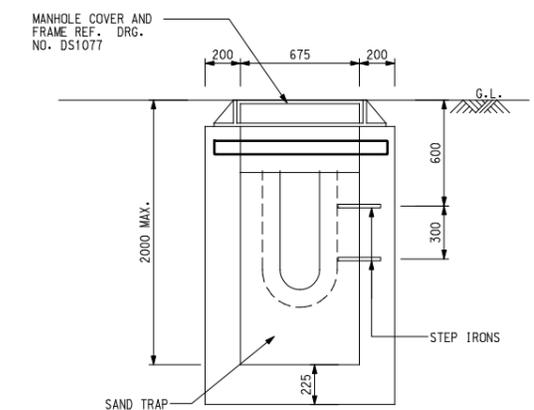


MANHOLE COVER AND FRAME REF. DRG. NO. DS1077

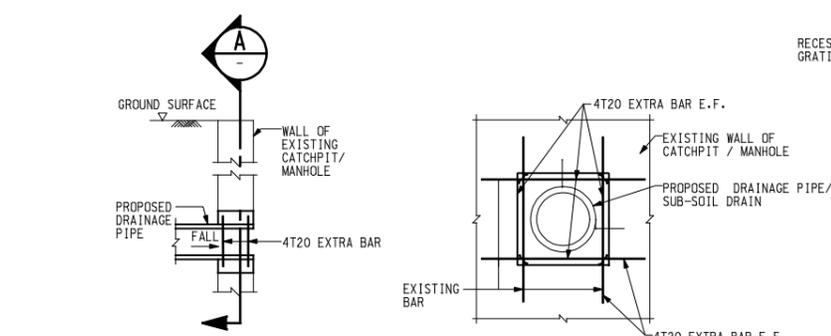
**TYPICAL DETAILS OF CATCHPIT TYPE B**  
SCALE 1:40



**SECTION B1**  
SCALE 1:40

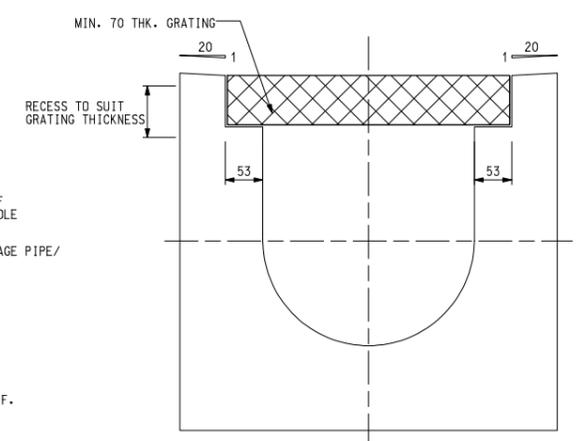


**SECTION B2**  
SCALE 1:40

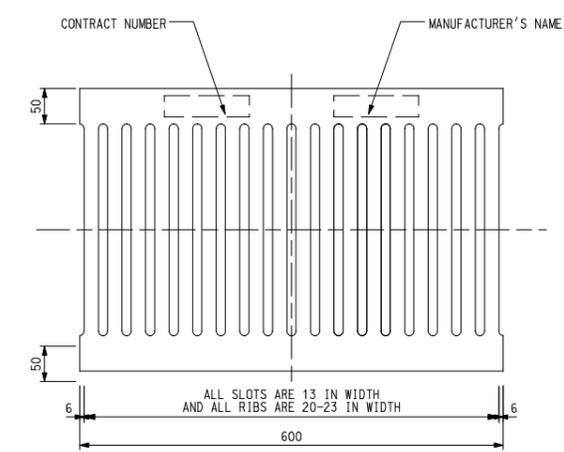


**OPENING DETAIL OF DRAINAGE PIPE INTO EXISTING CATCHPIT / MANHOLE**  
SCALE 1:5

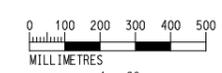
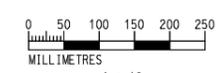
**SECTION A**  
SCALE 1:5



**TYPICAL CROSS SECTION OF CHANNEL**  
SCALE 1:10



**TYPICAL GRATING**  
SCALE 1:10



- NOTES :**
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
  - ALL LEVELS ARE IN mPD METRE ABOVE HONG KONG PRINCIPAL DATUM.

Rev.	Description of Revision	Date	Ckd.

Client  
**EXCEL LINK DEVELOPMENT LIMITED**

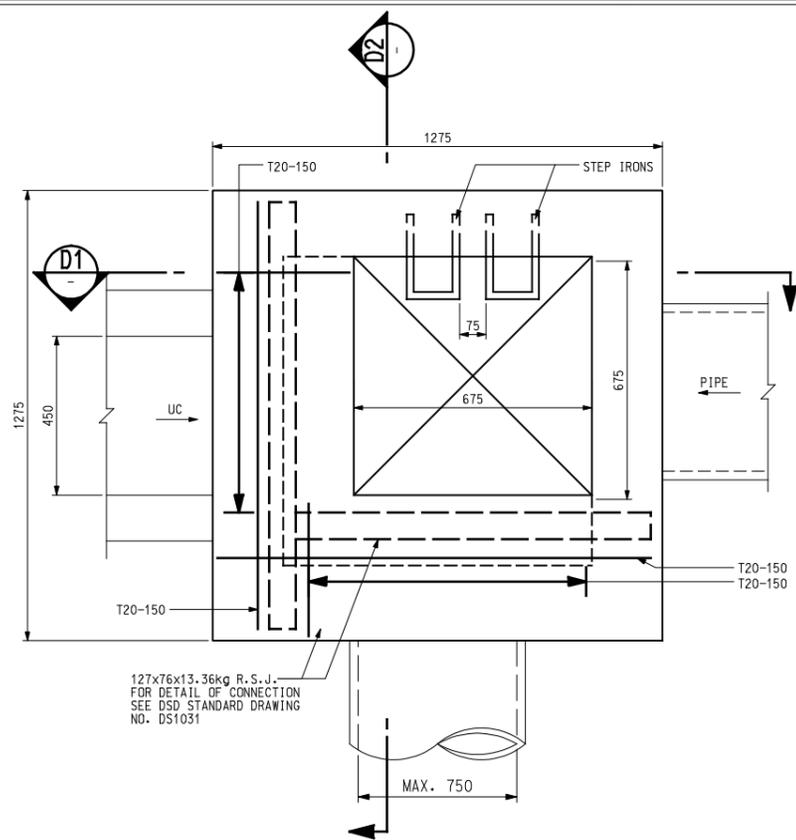
Consultants  
**MANNINGS (Asia) Consultants Limited**

Scale 1:n A3 AS SHOWN	Date AUG 2025	
Designed EM	Drawn KAM	Checked BLE
Design Team Leader SC	Date AUG 2025	
Approved KTC	Date AUG 2025	

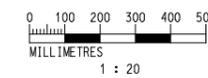
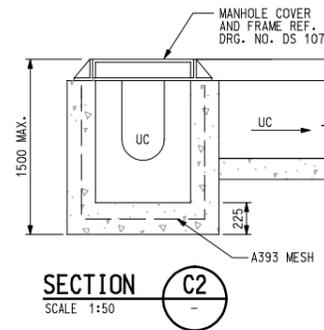
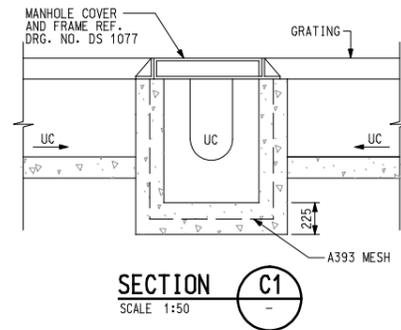
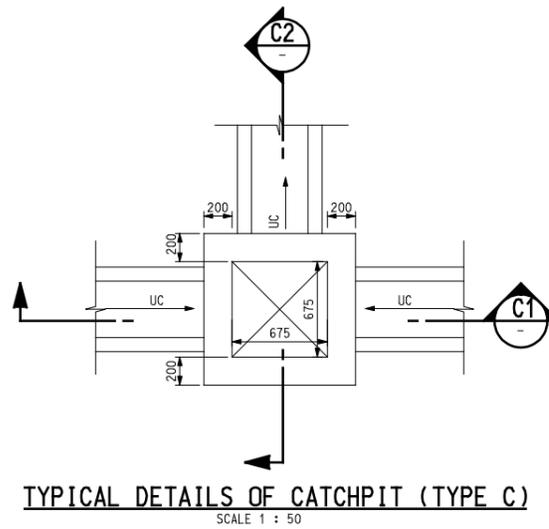
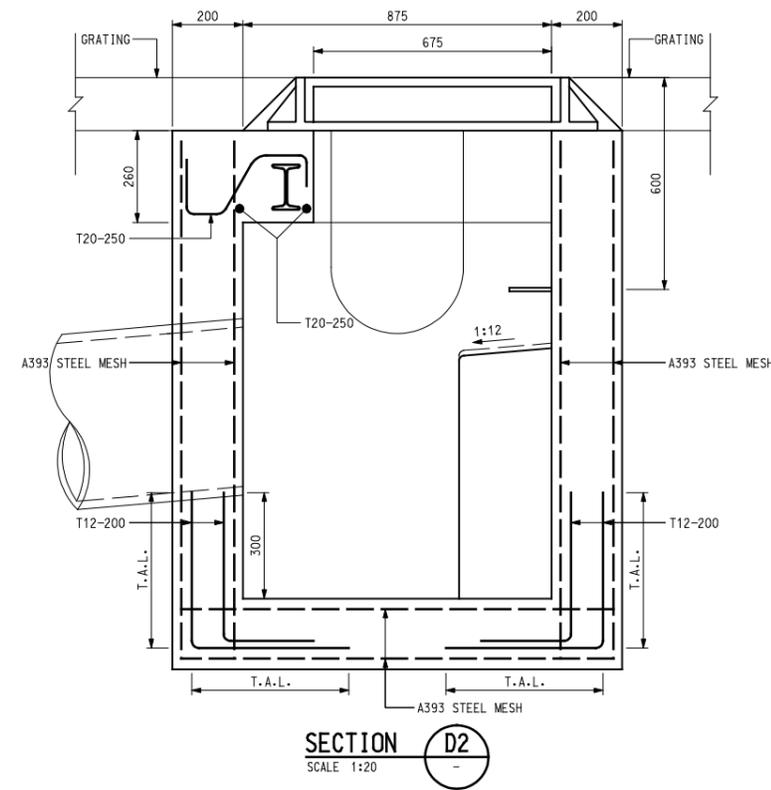
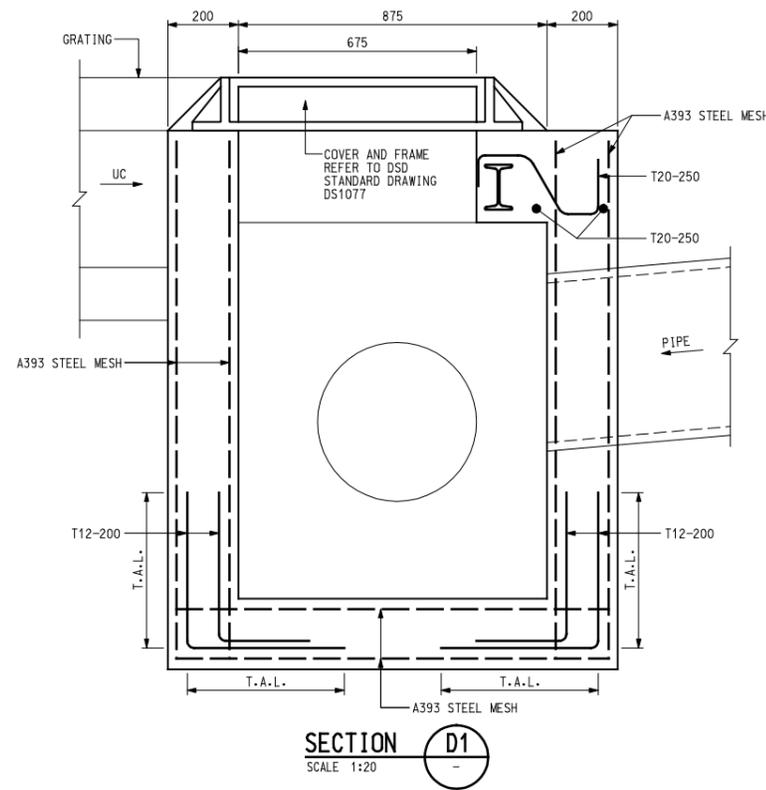
Project  
**PROPOSED TEMPORARY WAREHOUSE (EXCLUDING DANGEROUS GODDOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS, VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES**

Title  
**TYPICAL DETAILS OF DRAINAGE**

Drawing No. <b>W1010/211</b>	Stage <b>P</b>	Rev. <b>-</b>
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**TYPICAL DETAILS OF CATCHPIT TYPE D**  
SCALE 1:20



- NOTES :**
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
  2. ALL LEVELS ARE IN mPD METRE ABOVE HONG KONG PRINCIPAL DATUM.

Rev.	Description of Revision	Date	Ckd.
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Client  
**EXCEL LINK DEVELOPMENT LIMITED**

Consultants  
**MANNINGS (Asia) Consultants Limited**

Scale 1:n A3 AS SHOWN	Date AUG 2025	
Designed EM	Drawn KAM	Checked BLE
Design Team Leader SC	Date AUG 2025	
Approved KTC	Date AUG 2025	

Project  
**PROPOSED TEMPORARY WAREHOUSE (EXCLUDING DANGEROUS GODDOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS, VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES**

Title  
**TYPICAL DETAILS OF DRAINAGE**

Drawing No. <b>W1010/212</b>	Stage <b>P</b>	Rev. <b>-</b>
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CATCHPIT SCHEDULE							
CATCHPIT	COVER LEVEL (mPD)	INLET		OUTLET		TYPE OF MANHOLE / CATCHPIT	BEDDING
		DIAMETER (mm)	I.L. (mPD)	DIAMETER (mm)	I.L. (mPD)		
CP1	4.35	450UC	3.490	450UC	3.480	TYPE B	/
		450UC	3.490				
CP2	4.35	450UC	3.452	450UC	3.450	TYPE B	/
CP3	4.35	450UC	3.490	450UC	3.480	TYPE B	/
CP4	4.35	450UC	3.364	450UC	3.360	TYPE B	/
CP5	4.20	450UC	3.400	450UC	3.130	TYPE C	/
		450UC	3.144				
CP6	3.70	450UC	2.982	450UC	2.970	TYPE B	/
CP6a	3.70	450UC	2.930	450UC	2.850	TYPE B	/
CP7	3.70	450UC	2.810	450UC	2.800	TYPE C	/
		450UC	3.114				
CP8	3.50	450UC	2.450	450UC	2.440	TYPE B	/
CP9	3.50	450UC	2.260	450UC	2.250	TYPE B	/
CP10	3.50	450UC	2.384	750	1.850	TYPE D	B
		600	2.000				
CP10a	3.50	450UC	2.800	600	2.120	TYPE A	B
		450UC	2.130				
CP11	3.50	450UC	2.100	450UC	2.100	TYPE C	/
		450UC	2.100				
CP12	3.50	450UC	2.900	450UC	2.710	TYPE B	/
CP13	3.50	450UC	2.010	450UC	2.010	TYPE C	/
		450UC	2.600				
CP14	3.50	450UC	2.560	600	1.970	TYPE A	B
		450UC	1.980				
CP15	4.30	450UC	3.580	450UC	3.580	TYPE B	/
CP16	3.70	225UC	3.280	225UC	3.270	TYPE B	/
CP17	3.50	225UC	3.060	225UC	3.050	TYPE B	/
CP18	4.30	450UC	2.924	450UC	2.840	TYPE C	/
		450UC	2.850				
CP20	4.30	450UC	3.584	450UC	3.210	TYPE C	/
		450UC	3.576				
CP21	3.50	450UC	2.720	450UC	2.710	TYPE C	/
		225UC	2.920				
CP23	4.20	450UC	3.350	450UC	3.330	TYPE C	/
		450UC	3.340				
CP24	4.20	450UC	3.340	450UC	3.330	TYPE B	/
CP25	3.70	-	-	450UC	3.000	TYPE B	/
CP26	3.50	450UC	2.630	450UC	2.610	TYPE B	/
CP27	3.50	450UC	2.584	450UC	2.400	TYPE B	/
CP28	4.20	450UC	3.214	450UC	3.100	TYPE C	/
		450UC	3.106				

- NOTES :**
- FOR GENERAL NOTES, REFER TO DRAWING NO. W1010/113.
  - FOR DETAILS OF STANDARD MANHOLE, REFER TO DSD STANDARD DRAWINGS.
  - FOR BEDDING CLASS, REFER TO DSD STANDARD DRAWINGS NO. DS 1048B.
  - FOR DETAIL OF CATCHPIT, REFER TO DRAWING NO. W1010/211 and 212.

Rev.	Description of Revision	Date	Ckd.

Client  
**EXCEL LINK DEVELOPMENT LIMITED**

Consultants  
 **MANNINGS (Asia) Consultants Limited**

Scale 1:n A3 AS SHOWN Date AUG 2025

Designed EM	Drawn KAM	Checked BLE
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Design Team Leader SC	Date AUG 2025
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Approved KTC	Date AUG 2025
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Project  
**PROPOSED TEMPORARY WAREHOUSE (EXCLUDING DANGEROUS GODOWN) WITH ANCILLARY FACILITIES AND ASSOCIATED FILLING OF LAND AND POND FOR A PERIOD OF 3 YEARS, VARIOUS LOTS IN D.D. 107 AND ADJOINING GOVERNMENT LAND, KAM TIN, YUEN LONG, NEW TERRITORIES**

Title  
**MANHOLE SCHEDULE**

Drawing No. <b>W1010/311</b>	Stage <b>P</b>	Rev. <b>-</b>
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## Appendix B

### Design Calculations

<b>Mannings (Asia) Consultants Ltd.</b>		Job No.	W1010	Sheet No.	1
Calculation Sheet		Member / Location			
Job Title:	Proposed Temporary Warehouse (Excluding Dangerous Goods Godown) with Ancillary Facilities and Associated Filling of Land for A Period of 3 Years Various Lots in D.D. 107 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories	Drg. Ref.			
		Made By	Date		

The drainage design is referring to DSD's SDM 2018 and Corrigendum No. 1/2024  
 1 in 50 year design return period is taken.

Rational method is used for calculation of the peak runoff. The formula is extracted from Section 7.5.2 (a) of SDM.

$$Q_p = 0.278 C i A$$

Where  $Q_p$  = peak runoff in  $m^3/s$

$i$  = rainfall intensity in mm/hr

$A$  = catchment area in  $km^2$

The rainfall intensity is extracted from the Section 4.3.2 of SDM which is to estimate the Intensity-Duration – Frequency (IDF) Relationship.

Use of Storm Constants for 50 years Return Periods of HKO Headquarters

$$i = a / (t_d + b)^c$$

$i$  = extreme mean intensity in mm/hr

$t_d$  = duration in minutes ( $t_d < 240$ ), and

$a, b, c$  = storm constants given (note 50 years  $a=505.5, b=3.29, c=0.355$ )

**Runoff Estimation (Existing Scenario)**

Location	Natural Catch. ( $m^2$ )	Longest flow path (m)	Gradient (m per 100m)	to (min) = $0.14465L / (H^{0.2} A^{0.1})$	Runoff coeff.	Total Catch. Area ( $m^2$ )	50 year Intensity (mm/hr)	50 year design runoff = $0.278CiA$ ( $m^3/s$ )	Total Flow ( $m^3/s$ )
<b>To Outfall A</b>									
Catchment A	10887	178	0.01	24.87	0.25	10887	154.57	0.12	0.24
	3269				0.90	3269		0.13	
<b>To Outfall B</b>									
Catchment B	5025	195	0.01	27.85	0.25	5025	149.14	0.05	0.29
	6345				0.90	6345		0.24	
<b>To Outfall C</b>									
Catchment C	585	190	0.01	28.09	0.25	585	148.74	0.01	0.23
	6065				0.90	6065		0.23	

**Existing Stormwater Drainage Checking**

**Existing Scenario**

Manhole		Catchment Area		Length (m)	Nominal Diameter (mm)	Gradient, S <sub>f</sub>		Roughness Coefficient (m)	Velocity (m/s)	Time of Flow (min)	Time of Conc. (min)	Rainfall Duration (min)	50 year Intensity (mm/hr)	Runoff Coeff.	50 year Runoff (m <sup>3</sup> /s)	Total Flow (m <sup>3</sup> /s)	Capacity (m <sup>3</sup> /s)	Adjusted Capacity > Total Flow ?	Cover Level		Invert Level		utilization
From	To	Increment (m <sup>2</sup> )	Accu. (m <sup>2</sup> )			(%)	1 in												From (mPD)	To (mPD)	From (mPD)	To (mPD)	
<b>Check Existing Pipe</b>																							
<b>To Outfall A</b>																							
SCH1028774	SNF1009827	0	10887	12	600	1.1	92.3	3.0	1.946	0.10	24.97	24.97	154.37	0.25	0.117	0.243	0.495	Yes	3.00	3.00	1.87	1.74	0.49
		0	3269											0.90	0.126								
<b>To Outfall B</b>																							
SIH1005641	SNF1009826	0	5025	10	750	2	50	3	3.058	0.05	27.90	27.90	149.05	0.25	0.052	0.289	1.216	Yes	3.21	3.21	1.64	1.44	0.24
		0	6345											0.90	0.237								
<b>To Outfall C</b>																							
SMH1048181	SNF1009823	0	585	10	600	0.5	200.0	3.0	1.321	0.13	28.21	28.21	148.53	0.25	0.006	0.231	0.336	Yes	3.00	3.00	1.50	1.45	0.69
		0	6065											0.90	0.225								

Mean Velocity is calculated by Colebrook- White equation

Where:

- $\bar{V}$  =Mean Velocity (m/s)
- R =Hydraulic Diameter (m)
- K<sub>s</sub> =Surface Roughness (m)
- ν =Kinematic viscosity (kg/ms)
- S<sub>f</sub> =Slope of Hydraulic Gradient
- g =Gravity (m/s<sup>2</sup>)

$$\bar{V} = -\sqrt{32gRS_f} \log \left[ \frac{k_s}{14.8R} + \frac{1.255\nu}{R\sqrt{32gRS_f}} \right]$$

The Roughness Coefficient K<sub>s</sub> is assumed to be 3 for concrete.

Peak Runoff is estimated using rational method according to SDM.

The rainfall intensity is extracted from the Section 4.3.2 of SDM which is to estimate the Intensity-Duration – Frequency (IDF) Relationship.

Use of Storm Constants for 50 years Return Periods of HKO Headquarters

$$i = a / (t_d + b)^c$$

i =extreme mean intensity in mm/hr

t<sub>d</sub> =duration in minutes (td<240), and

a, b, c = storm constants given (note50 years a=505.5, b=3.29, c=0.355)

<b>Mannings (Asia) Consultants Ltd.</b>		Job No.	W1010	Sheet No.	1
Calculation Sheet		Member / Location			
Job Title: Proposed Temporary Warehouse (Excluding Dangerous Godown) With Ancillary Facilities and Associated Filling of Land and Pond for A Period of 3 Years, Various Lots In D.D. 107 and Adjoining Government Land, Kam Tin, Yuen Long, New Territories		Drg. Ref.			
		Made By		Date	

The drainage design is referring to DSD's SDM 2018 and Corrigendum No. 1/2024  
 1 in 50 year design return period is taken.

Rational method is used for calculation of the peak runoff. The formula is extracted from Section 7.5.2 (a) of SDM.

$$Q_p = 0.278 C i A$$

Where  $Q_p$  = peak runoff in  $m^3/s$

$i$  = rainfall intensity in mm/hr

$A$  = catchment area in  $km^2$

The rainfall intensity is extracted from the Section 4.3.2 of SDM which is to estimate the Intensity-Duration – Frequency (IDF) Relationship.

Use of Storm Constants for 50 years Return Periods of HKO Headquarters

$$i = a / (t_d + b)^c$$

$i$  = extreme mean intensity in mm/hr

$t_d$  = duration in minutes ( $t_d < 240$ ), and

$a, b, c$  = storm constants given (note 50 years  $a=505.5, b=3.29, c=0.355$ )

**U-Channel Runoff Estimation**

Location	Natural Catch. ( $m^2$ )	Catchment ID	Longest flow path (m)	Gradient (m per 100m)	$t_o$ (min) = $0.14465L / (H^{0.2}A^{0.1})$	$t_r = L/v$ (min)	$t_c = t_o + t_r$ (min)	Runoff coeff.	Total Catch. Area ( $m^2$ )	50 year Intensity (mm/hr)	50 year design runoff = $0.278CiA$ ( $m^3/s$ )	Total Flow( $m^3/s$ )
<b>To Outfall A</b>												
U11-2	1839	A6	43	0.01	7.92	0.22	8.13	0.90	1839	212.91	0.10	0.10
U11-1	6169	A1	68	0.01	9.56	0.42	9.98	0.25	6169	201.90	0.09	0.09
U12	276	A5	20	0.01	4.76	0.04	4.79	0.90	276	240.72	0.02	0.02
U13-1	1238	A5, A7, A10	-	-	4.79	0.57	5.37	0.90	1238	234.93	0.07	0.08
	1.00							168	0.01			
U13-3	118	A8, A11	22	0.01	5.06	0.11	5.17	0.90	118	236.87	0.01	0.01
	1.00							64	0.00			
U13-2	6169	A1, A6	-	-	9.98	0.25	10.22	0.25	6169	200.58	0.09	0.18
	1839							1839	0.09			
U13-4	6169	A5, A6, A8, A10, A11	-	-	10.22	0.09	10.31	0.25	6169	200.13	0.09	0.19
	1957							1957	0.10			
	64							64	0.00			
<b>To Outfall B</b>												
U1-1	802	B1, B5	20	0.01	3.72	0.49	4.21	0.90	802	247.19	0.05	0.05
U1-2	448	B3, B12	73	0.01	16.25	0.23	16.47	0.90	448	175.26	0.02	0.02
U2	1250	B1, B3, B5, B12	-	-	16.47	0.08	16.55	0.90	1250	175.01	0.05	0.07
	284	B17						1.00	284		0.01	
U23-1	1682	B1, B3, B5, B12, B15	-	-	16.55	0.28	16.84	0.90	1682	174.13	0.07	0.09
	284	B17						1.00	284		0.01	
U23-2	332	B18	8	0.04	1.25	0.34	1.59	1.00	332	287.96	0.03	0.03
U7-2	2363	B1, B3, B5, B12, B15, B16	-	-	16.84	0.65	17.49	0.90	2363	172.17	0.10	0.21
	2323	B17, B18, B22, B38						1.00	2323		0.11	
U3	900	B7	16	0.01	3.15	0.38	3.53	0.25	900	255.76	0.02	0.03
	273	B6						0.90	273		0.02	
U4	2157	B7, B8	-	-	3.53	0.31	3.84	0.25	2157	251.71	0.04	0.06
	305	B6, B13						0.90	305		0.02	
U5-2	4496	B7, B8, B9	-	-	3.84	0.59	4.43	0.25	4496	244.72	0.08	0.15
	366	B6, B13						0.90	366		0.02	
	699	B37						1.00	699		0.05	
U5-1	3699	B10	86	0.00	21.13	0.60	21.73	0.25	3699	161.19	0.04	0.04
U6	8195	B7, B8, B9, B10	-	-	21.73	0.43	22.16	0.25	8195	160.22	0.09	0.15
	366	B6, B13						0.90	366		0.01	
	959	B37, B39						1.00	959		0.04	
U7-1	8195	B7, B8, B9, B10	-	-	22.16	0.10	22.26	0.25	8195	159.99	0.09	0.15
	366	B6, B13						0.90	366		0.01	
	959	B37, B39						1.00	959		0.04	
U7-3	8195	B7, B8, B9, B10	-	-	22.26	0.23	22.49	0.25	8195	159.48	0.09	0.15
	366	B6, B13						0.90	366		0.01	
	959	B37, B39						1.00	959		0.04	
U27	8195	B7, B8, B9, B10	-	-	22.26	0.60	22.86	0.25	8195	158.68	0.09	0.43
	3148	B1, B3, B5, B6, B12, B13, B15, B16						0.90	3148		0.12	
	4773	B17, B18, B22, B37, B38, B39						1.00	4773		0.21	
U10-2	8195	B7, B8, B9, B10	-	-	22.86	0.47	23.34	0.25	8195	157.67	0.09	0.42
	3148	B1, B3, B5, B6, B12, B13, B15, B16						0.90	3148		0.12	
	4773	B17, B18, B22, B37, B38, B39						1.00	4773		0.21	

<b>Mannings (Asia) Consultants Ltd.</b>	Job No.	W1010	Sheet No.	2
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	Drg. Ref.			Made By
				Date

The drainage design is referring to DSD's SDM 2018 and Corrigendum No. 1/2024  
1 in 50 year design return period is taken.

Rational method is used for calculation of the peak runoff. The formula is extracted from Section 7.5.2 (a) of SDM.

$$Q_p = 0.278 C i A$$

Where  $Q_p$  = peak runoff in  $m^3/s$

$i$  = rainfall intensity in mm/hr

$A$  = catchment area in  $km^2$

The rainfall intensity is extracted from the Section 4.3.2 of SDM which is to estimate the Intensity-Duration – Frequency (IDF) Relationship.

Use of Storm Constants for 50 years Return Periods of HKO Headquarters

$$i = a / (t_d + b)^c$$

$i$  = extreme mean intensity in mm/hr

$t_d$  = duration in minutes ( $t_d < 240$ ), and

$a, b, c$  = storm constants given (note 50 years  $a=505.5, b=3.29, c=0.355$ )

#### U-Channel Runoff Estimation

Location	Natural Catch. ( $m^2$ )	Catchment ID	Longest flow path (m)	Gradient (m per 100m)	$t_o$ (min) = $0.14465L / (H^{0.2}A^{0.1})$	$t_r = L/v$ (min)	$t_c = t_o + t_r$ (min)	Runoff coeff.	Total Catch. Area ( $m^2$ )	50 year Intensity (mm/hr)	50 year design runoff = $0.278CiA$ ( $m^3/s$ )	Total Flow ( $m^3/s$ )
<b>To Outfall B</b>												
U10-1	1250	B27	55	0.00	11.99	0.28	12.28	0.90	1250	190.77	0.06	0.06
U15	1918	B1, B11	90	0.00	23.83	0.47	24.30	0.90	1918	155.70	0.07	0.07
U20	1918	B1, B11	-	-	24.30	0.06	24.35	0.90	1918	155.58	0.07	0.07
U18	1971	B2	-	-	24.35	0.35	24.70	0.90	1971	154.89	0.08	0.08
U19	3889	B1, B2, B11	-	-	24.70	0.29	24.99	0.90	3889	154.32	0.15	0.15
U24	821	B19	33	0.00	7.18	0.10	7.28	0.90	821	218.88	0.04	0.04
U25	1716	B19, B20	-	-	7.28	0.32	7.60	0.90	1716	216.54	0.09	0.09
U26	2267	B19, B20, B21	19	0.01	3.43	0.23	3.66	0.90	2267	254.02	0.14	0.26
	1708	B23						1.00	1708		0.12	
U29	5605	B1, B2, B11, B20	-	-	24.99	0.69	25.68	0.90	5605	153.02	0.21	0.21
U28	7872	B1, B2, B11, B19, B20, B21	-	-	24.99	0.68	25.67	0.90	7872	153.03	0.30	0.37
	1708	B23						1.00	1708		0.07	
U16	89	B29	10	0.01	2.32	1.01	3.33	0.90	89	258.38	0.01	0.01
U17	179	B29, B30	-	-	3.33	0.94	4.27	0.90	179	246.53	0.01	0.01
U21	211	B29, B30, B31	-	-	4.27	0.64	4.90	0.90	211	239.56	0.01	0.01
U22	8699	B1, B2, B11, B19, B20, B29, B30, B31, B31	-	-	25.67	0.23	25.90	0.90	8699	152.60	0.33	0.40
	1708	B23						1.00	1708		0.07	
U8	8751	B1, B2, B11, B19, B20, B29, B30, B31, B31, B34	-	-	25.90	0.44	26.34	0.90	8751	151.79	0.33	0.46
	2933	B23, B33						1.00	2933		0.12	
U9	8861	B1, B2, B11, B19, B20, B29, B30, B31, B31, B34, B35	-	-	26.34	0.50	26.85	0.90	8861	150.88	0.33	0.52
	4447	B23, B25, B33						1.00	4447		0.19	
U10-3	8962	B1, B2, B11, B19, B20, B29, B30, B31, B31, B34, B35, B36	-	-	26.85	0.35	27.19	0.90	8962	150.27	0.34	0.54
	4781	B23, B25, B28, B33						1.00	4781		0.20	



















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**Checking of Capacity (U7-2)**

**Input Data**

Width of UC	=	0.45 m	0.361	
Height of UC	=	0.59 m		
Design Runoff	=	0.21 m <sup>3</sup> /s (Q <sub>after, uncov.</sub> )	0.225	

**Flow capacity, Q**

$$Q = \frac{A \times r^{2/3} \times s^{1/2}}{n}$$

where

A	=	cross sectional area of flow (m <sup>2</sup> )	=	0.241972 m <sup>2</sup>
r	=	hydraulic radius (m)		
s	=	slope of the water surface or the linear hydraulic head loss (m/m)		
n	=	Manning coefficient of roughness		

**Hydraulic radius**

$$r = \frac{A}{P}$$

P	=	wetted perimeter (m)	=	1.43 m
r	=	0.17 m		

**Slope**

s	=	0.004 m/m		
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**Manning coefficient of roughness**

n	=	0.014		
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**Therefore,**

Q	=	0.33 m <sup>3</sup> /s	> Design runoff, OK!	
V	=	Q/A	=	1.38 m/s



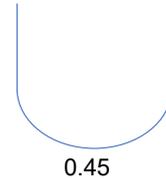


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**Checking of Capacity (U9)**

**Input Data**

Width of UC = 0.45 m      1.015  
 Height of UC = 1.24 m  
 Design Runoff = 0.52 m<sup>3</sup>/s      0.225  
 (Q<sub>after, uncov.</sub>)



**Flow capacity, Q**

$$Q = \frac{A \times r^{2/3} \times s^{1/2}}{n}$$

where A = cross sectional area of flow (m<sup>2</sup>) = 0.536272 m<sup>2</sup>  
 r = hydraulic radius (m)  
 s = slope of the water surface or the linear hydraulic head loss (m/m)  
 n = Manning coefficient of roughness

**Hydraulic radius**

$r = \frac{A}{P}$   
 p = wetted perimeter (m) = 2.74 m  
 r = 0.20 m

**Slope**

s = 0.004 m/m

**Manning coefficient of roughness**

n = 0.014

**Therefore,**

Q = 0.82 m<sup>3</sup>/s > Design runoff, OK!  
 V = Q/A = 1.52 m/s



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**Checking of Capacity (U10-2)**

**Input Data**

Width of UC	=	0.45 m	0.891	
Height of UC	=	1.12 m		
Design Runoff	=	0.42 m <sup>3</sup> /s (Q <sub>after, uncov.</sub> )	0.225	

**Flow capacity, Q**

$$Q = \frac{A \times r^{2/3} \times s^{1/2}}{n}$$

where

A	=	cross sectional area of flow (m <sup>2</sup> )	=	0.480472 m <sup>2</sup>
r	=	hydraulic radius (m)		
s	=	slope of the water surface or the linear hydraulic head loss (m/m)		
n	=	Manning coefficient of roughness		

**Hydraulic radius**

r	=	$\frac{A}{P}$		
p	=	wetted perimeter (m)	=	2.49 m
r	=	0.19 m		

**Slope**

s	=	0.004 m/m		
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**Manning coefficient of roughness**

n	=	0.014		
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**Therefore,**

Q	=	0.73 m <sup>3</sup> /s	> Design runoff, OK!	
V	=	Q/A	=	1.51 m/s



































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**Checking of Capacity (U23-2)**

**Input Data**

Width of UC	=	0.45 m	0.635	
Height of UC	=	0.86 m		
Design Runoff	=	0.03 m <sup>3</sup> /s (Q <sub>after, uncov.</sub> )	0.225	

**Flow capacity, Q**

$$Q = \frac{A \times r^{2/3} \times s^{1/2}}{n}$$

where

A	=	cross sectional area of flow (m <sup>2</sup> )	=	0.365272 m <sup>2</sup>
r	=	hydraulic radius (m)		
s	=	slope of the water surface or the linear hydraulic head loss (m/m)		
n	=	Manning coefficient of roughness		

**Hydraulic radius**

$$r = \frac{A}{P}$$

P	=	wetted perimeter (m)	=	1.98 m
r	=	0.18 m		

**Slope**

s	=	0.004 m/m		
---	---	-----------	--	--

**Manning coefficient of roughness**

n	=	0.014		
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**Therefore,**

Q	=	0.54 m <sup>3</sup> /s	> Design runoff, OK!	
V	=	Q/A	=	1.47 m/s

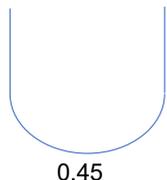
<b>Mannings (Asia) Consultants Ltd.</b>	Job No.	W1010	Sheet No.	Rev.
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**Checking of Capacity (U24)**

**Input Data**

Width of UC	=	0.45 m	0.635
Height of UC	=	0.86 m	
Design Runoff	=	0.04 m <sup>3</sup> /s	0.225
		(Q <sub>after, uncov.</sub> )	



**Flow capacity, Q**

$$Q = \frac{A \times r^{2/3} \times s^{1/2}}{n}$$

where

A	=	cross sectional area of flow (m <sup>2</sup> )	=	0.365272 m <sup>2</sup>
r	=	hydraulic radius (m)		
s	=	slope of the water surface or the linear hydraulic head loss (m/m)		
n	=	Manning coefficient of roughness		

**Hydraulic radius**

$$r = \frac{A}{P}$$

P	=	wetted perimeter (m)	=	1.98 m
r	=	0.18 m		

**Slope**

s	=	0.004 m/m
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**Manning coefficient of roughness**

n	=	0.014
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**Therefore,**

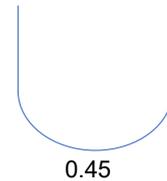
Q	=	0.54 m <sup>3</sup> /s	> Design runoff, OK!
V	=	Q/A =	1.47 m/s

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**Checking of Capacity (U25)**

**Input Data**

Width of UC = 0.45 m      0.761  
 Height of UC = 0.99 m  
 Design Runoff = 0.09 m<sup>3</sup>/s      0.225  
 (Q<sub>after, uncov.</sub>)



**Flow capacity, Q**

$$Q = \frac{A \times r^{2/3} \times s^{1/2}}{n}$$

where A = cross sectional area of flow (m<sup>2</sup>) = 0.421972 m<sup>2</sup>  
 r = hydraulic radius (m)  
 s = slope of the water surface or the linear hydraulic head loss (m/m)  
 n = Manning coefficient of roughness

**Hydraulic radius**

$r = \frac{A}{P}$   
 p = wetted perimeter (m) = 2.23 m  
 r = 0.19 m

**Slope**

s = 0.004 m/m

**Manning coefficient of roughness**

n = 0.014

**Therefore,**

Q = 0.63 m<sup>3</sup>/s > Design runoff, OK!  
 V = Q/A = 1.49 m/s









**Stormwater Drainage Design**

Manhole / Pipe		Catchment Area		Catchment ID	Length (m)	Nominal Diameter (mm)	Gradient, S <sub>f</sub>		Roughness Coefficient (m)	Velocity (m/s)	Time of Flow (min)	Time of Conc. (min)	Rainfall Duration (min)	50 year Intensity (mm/hr)	Runoff Coeff.	50 year Runoff (m <sup>3</sup> /s)	Total Flow (m <sup>3</sup> /s)	Capacity (m <sup>3</sup> /s)	Adjusted Capacity > Total Flow ?	Cover Level		Invert Level		utilization
From	To	Increment (m <sup>2</sup> )	Accu. (m <sup>2</sup> )				(%)	1 in												From (mPD)	To (mPD)	From (mPD)	To (mPD)	
<b>To Outfall A</b>																								
CP14	SCH1028774	0	6169	A1, A5, A6, A7, A8, A10, A11	2	600	2.0	50.0	3.0	2.644	0.01	10.32	10.32	200.06	0.25	0.086	0.259	0.673	Yes	3.50	3.00	1.97	1.93	0.38
		0	3195												0.90	0.160								
		0	232												1.00	0.013								
<b>To Outfall B</b>																								
CP10a	CP10	0	10212	B1, B2, B11, B19, B20, B23, B25, B27, B28, B29, B30, B31, B31, B33, B34, B35, B36	5	600	2.4	41.7	3.0	2.897	0.03	27.22	27.22	150.22	0.90	0.384	0.583	0.737	Yes	3.50	3.50	2.12	2.00	0.79
		0	4781												1.00	0.200								
CP10	SIH1005641	0	8195	B1 ~ B39	7	750	1.9	53.8	3.0	2.947	0.04	27.26	27.26	150.15	0.25	0.086	0.986	1.172	Yes	3.50	3.21	1.85	1.72	0.84
		0	13360												0.90	0.502								
		0	9554												1.00	0.399								
<b>To Outfall C</b>																								
375 Pipe		0	1833.5	1/2 of C1	125	375	1.0	100.0	0.06	2.154	3.97	3.97	3.97	250.12	1.00	0.127	0.127	0.214	Yes	-	-	-	-	0.60
450 Pipe		0	3667	C1	140	450	1.0	100.0	0.06	2.413	3.97	3.97	3.97	250.12	1.00	0.255	0.255	0.345	Yes	-	-	-	-	0.74
<b>Check Existing Pipe</b>																								
<b>To Outfall A</b>																								
SCH1028774	SNF1009827	899	7068	A1 ~ A9	12	600	1.1	92.3	3.0	1.946	0.10	10.33	10.33	200.04	0.25	0.098	0.283	0.495	Yes	3.00	3.00	1.87	1.74	0.57
		486	3681												0.90	0.184								
<b>To Outfall B</b>																								
SIH1005641	SNF1009826	403	8598	B1 ~ B40	10	750	2.0	50.0	3.0	3.058	0.05	27.32	27.32	150.06	0.25	0.090	0.990	1.216	Yes	3.21	3.21	1.64	1.44	0.81
		0	13360												0.90	0.502								
		0	9554												1.00	0.399								
<b>To Outfall C</b>																								
SMH1048181	SNF1009823	585	585	C1 ~ C2	10	600	0.5	200.0	3.0	1.321	0.13	5.93	5.93	229.73	0.25	0.009	0.244	0.336	Yes	3.00	3.00	1.50	1.45	0.72
		0	3667												1.00	0.234								

Mean Velocity is calculated by Colebrook- White equation

Where:  
 $\bar{V}$  = Mean Velocity (m/s)  
 R = Hydraulic Diameter (m)  
 K<sub>s</sub> = Surface Roughness (m)  
 ν = Kinematic viscosity (kg/ms)  
 S<sub>f</sub> = Slope of Hydraulic Gradient  
 g = Gravity (m/s<sup>2</sup>)

$$\bar{V} = -\sqrt{32gRS_f} \log \left[ \frac{k_s}{14.8R} + \frac{1.255\nu}{R\sqrt{32gRS_f}} \right]$$

The Roughness Coefficient K<sub>s</sub> is assumed to be 3 for concrete, 0.06 for uPVC pipe.

Peak Runoff is estimated using rational method according to SDM.

The rainfall intensity is extracted from the Section 4.3.2 of SDM which is to estimate the Intensity-Duration – Frequency (IDF) Relationship.

Use of Storm Constants for 50 years Return Periods of HKO Headquarters

$$i = a / (t_d + b)^c$$

i = extreme mean intensity in mm/hr

t<sub>d</sub> = duration in minutes (td<240), and

a, b, c = storm constants given (note 50 years a=505.5, b=3.29, c=0.355)



## Appendix C

### Site Photos

**Photo 1:**



**Photo 2:**



**Photo 3:**

